SENIORS HOUSING DEVELOPMENT
35 - 39 WEST STREET; 5 LEO AVENUE
LURNEA NSW 2170

LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559
JOB REFERENCE: BGYDY

DRAWING LIST

SHEET NUMBER	SHEET NAME	SCALE @ A1
ARCHITECTURAL		
A001	COVER SHEET & LOCATION PLAN	NTS
A002	SITE ANALYSIS - BROAD SCALE CONTEXT	1:2500
A003	BLOCK ANALYSIS PLAN	1:500
A004	SITE ANALYSIS - IMMEDIATE CONTEXT 1	1:250
A005	SITE ANALYSIS - IMMEDIATE CONTEXT 2	1:250
A006	DEMOLITION PLAN	1:100
A007	DEMOLITION ELEVATION	1:100
A008	DEMOLITION PLAN - 5 LEO AVE	1:100
A009	SITE PLAN	1:100
A101	FLOOR PLAN - GROUND FLOOR	1:100
A102	LOWER GROUND FLOOR	1:100
A103	FLOOR PLAN - LEVEL 1	1:100
A104	ROOF PLAN	1:100
A201	SECTIONS 1	1:100
A202	SECTIONS 2	1:100
A203	SECTION 3	1:100
A204	ELEVATIONS 1	1:100
A205	ELEVATIONS 2	1:100
A301	PHOTOMONTAGE	NTS
A302	PHOTOMONTAGE 2	NTS
A303	HEIGHT PLANE DIAGRAM	NTS
A401	EXTERNAL FINISHES - CONTEXT	NTS
A402	EXTERNAL FINISHES SELECTIONS	NTS
A501	SHADOW DIAGRAMS - 21 JUNE - 0900	1:100
A502	SHADOW DIAGRAMS - 21 JUNE - 1200	1:100
A503	SHADOW DIAGRAMS - 21 JUNE - 1500	1:100
A504	SOLAR ACCESS PLANS - GROUND FLOOR	NTS
A505	SOLAR ACCESS PLANS - LEVEL 1	NTS
A506	VIEW FROM SUN	NTS
A507	VIEW FROM SUN	NTS
A508	SOLAR ACCESS SUMMARY TABLE	NTS
A509	VIEW FROM SUN	NTS
A601	LANDSCAPE PLAN	1:100
A602	PLANTING SCHEDULE	NTS
A603	TYPICAL LANDSCAPE DETAILS	1:10, 1:20, NTS
A701	GROSS FLOOR AREA	1:200
CIVIL		
001	LOCATION PLAN & DRAWING SCHEDULE	NTS
101	EROSION & SEDIMENT CONTROL PLAN	1:100
111	EROSION & SEDIMENT CONTROL DETAILS	NTS
201	CUT AND FILL PLAN	1:100
301	STORMWATER MANAGEMENT PLAN SHEET 1 OF 2	1:100
302	STORMWATER MANAGEMENT PLAN SHEET 1 OF 2	1:100
401	SITEWORKS PLAN	1:100
431	LONGITUDINAL PROFILE - MC01	1:100
601	DETAIL SHEET	AS SHOWN
SURVEY		
SHT. 1 OF 2	SURVEY PLAN SHOWING DETAIL AND LEVELS	1:200
SHT. 2 OF 2	SURVEY PLAN SHOWING DETAIL AND LEVELS	1:200

LOCATION PLAN (NTS)

VIEW OF WEST STREET ELEVATION

E

DEVELOPMENT DATA

Job Reference	BGYDY
Locality/ Suburb	Lurnea
Street Address	35 - 39 West Street, 5 Leo Avenue
Lot Number(s) & Deposited Plan	Lots 15, 16 & 17 in DP 215559, LOT 11 in DP 215559
SITE AREA (sqm)	1722.9
NUMBER OF EXISTING LOTS	4
PROPOSED GFA* (sqm)	See below
NUMBER OF DWELLINGS	12

DWELLINGS	**Number**	**Type***	**No of Bedrooms**	**Area* (m²)**	**POS Total**	**A.POS* (GL - A.POS FF - Balcony)**
	1	Seniors Housing	2	73.6 m²	86.0 m²	17.2 m²
	2	Seniors Housing	2	75.4 m²	115.7 m²	18.7 m²
	3	Seniors Housing	1	55.9 m²	32.5 m²	16.2 m²
	4	Seniors Housing	1	55.4 m²	72.5 m²	22.2 m²
	5	Seniors Housing	1	55.4 m²	15.0 m²	15.0 m²
	6	Seniors Housing	2	81.2 m²	32.1 m²	15.8 m²
	7	Seniors Housing	2	73.9 m²		10.3 m²
	8	Seniors Housing	2	75.4 m²		15.0 m²
	9	Seniors Housing	1	55.9 m²		9.2 m²
	10	Seniors Housing	1	55.8 m²		9.3 m²
	11	Seniors Housing	1	55.8 m²		9.3 m²
	12	Seniors Housing	2	81.4 m²		11.4 m²
				795.1 m²		
GFA - Housing SEPP				1022.7 m²		
GFA - Liverpool LEP				953.7 m²		

F

	Control		**Requirement**	**Proposed**
BUILDING HEIGHT	Housing SEPP - Cl 108B		9.5m	Maximum 8.96m
PARKING	Housing SEPP - Cl 42	accessible site	1 bed x 0.4 = 2.4 2 bed x 0.5 = 3.0 6 required	6
	Housing SEPP - Cl 108	accessible spaces	1 per 5 dwellings 3 required	3
FSR	Housing SEPP		0.5 : 1	0.59 : 1
	Liverpool LEP		0.5 : 1	0.55 : 1
SETBACK(s) * Verandahs, balconies, eaves and other sun control devices may encroach on the minimum front and secondary setback by up to 1m	Liverpool Multi Dwelling Housing DCP	Front Setback *	GF - 4.5m FF - 5.5m	Min 4.855 m
		Secondary Setback *	2.5m (The secondary setback is the longest length boundary)	Min 2.500 m
		Side Setback	GF with windows to habitable rooms - 4m FF with windows to habitable rooms & neighbouring private open spaces - 4m GF without windows to habitable rooms - 0.9m FF wiithout windows to habitable rooms & neighbouring private open spaces - 1.2m	Min 3.961 m
		Rear Setback	GF with windows to habitable rooms - 4m FF with windows to habitable rooms & neighbouring private open spaces - 6m GF without windows to habitable rooms - 4m FF without windows to habitable rooms & neighbouring private open spaces - 4.5m	Min 14.327 m
DEEP SOIL - Min 15 % of Site area	Housing SEPP - Cl 108		Min. 258 m² 65% at Rear - 168 m²	259.5 m² At Rear - 189.6 m²
LANDSCAPING - 35 m²/ dwelling	Housing SEPP - Cl 108		420 m²	554.7 m²
SOLAR ORIENTATION	Housing SEPP - Cl 108		70% of dwellings have 2 hours of sunlight between 9am and 3pm 21st June	92%
PRIVATE OPEN SPACE	Housing SEPP - Cl 108		GF POS - Min 15m2 with min 3m dimension FF Balcony 1 bed - Min 6m2 with min 2m dimension FF Balcony 2 bed - Min 10m2 with 2m dimension	Complies

F

E

LAHC* - development data for LAHC new housing supply. For details refer to Current version of LAHC Dwelling Requirements
GFA* - gross floor area calculated as per relevant Planning Instrument
AREA* - dwelling floor area includes internal walls but excludes external walls
POS* - private open space
A.POS* - accessible private open space

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ALUM	ALUMINIUM	CPT	CARPET TILE	FIP	FIBREGLASS PLASTER PANEL	OPC	OPEN PORTLAND CONCRETE	RW	RAINWATER WATER	UNO	UNLESS NOTED OTHERWISE		
ATO	AS TURNS OUT	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL		
BALC	BALCONY	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BALS	BALUSTRADE - TYPE 1	CT	CERAMIC TILE	GB	GRIT BLAST	PBD	PARTICLEBOARD	SCP	SHOWER CHROME PLATED	WB	WATERBOARD		
BSN	BASIN	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET		
BD	BLACKBOARD CORE	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BCE	BRICK ON EDGE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SM	SMOKE				
BOW	BOTTOM OF WALL	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - INCORPORATED	SKI	SKIRTING				
BWU	BOILING WATER UNIT	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE				
C	CONCRETE	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE WATER RESISTANT	SPR	SPRINGING POINT				
CFC	CONCRETE FIBRE CEMENT	EDB	ELECTRICAL DISTRIBUTION BOARD	LT	LOUVRE	PBG	PREPAINTED GFC	SF	STAINLESS				
CH	CLOTHES HOOK	EJ	EXPANSION JOINT	MAX	MAXIMUM	PCG	PRE-COATED GLASS	SFR	STAINLESS STEEL				
CJ	CONTROL JOINT	EX	EXISTING	MDF	MEDIUM DENSITY FIBREBOARD	PLY	PLYWOOD	SWP	STORMWATER PIT				
CL	CLOTHES LINE	FB1	FACE BRICK - TYPE 1	MGP	MOTION DETECTION DEVICE	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
CM	CORRUGATED METAL	FB2	FACE BRICK - TYPE 2	MIN	MINIMUM	PTD	PAINTED OR PLASTERED	TB	TILE				
COL	COLUMN	FC	FIBRE CEMENT	MRB	METAL ROOF SHEETING	RE	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
CO	CABLE OUTLET	FCL	FINISHED CEILING LEVEL	MSB	MAIN SWITCH BOARD	REF	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
		FFL	FINISHED FLOOR LEVEL				REFRIGERATOR	TOF	TOP OF FENCE				

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM 300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	F	DJ
15/05/24	REVISED REF	E	DJ

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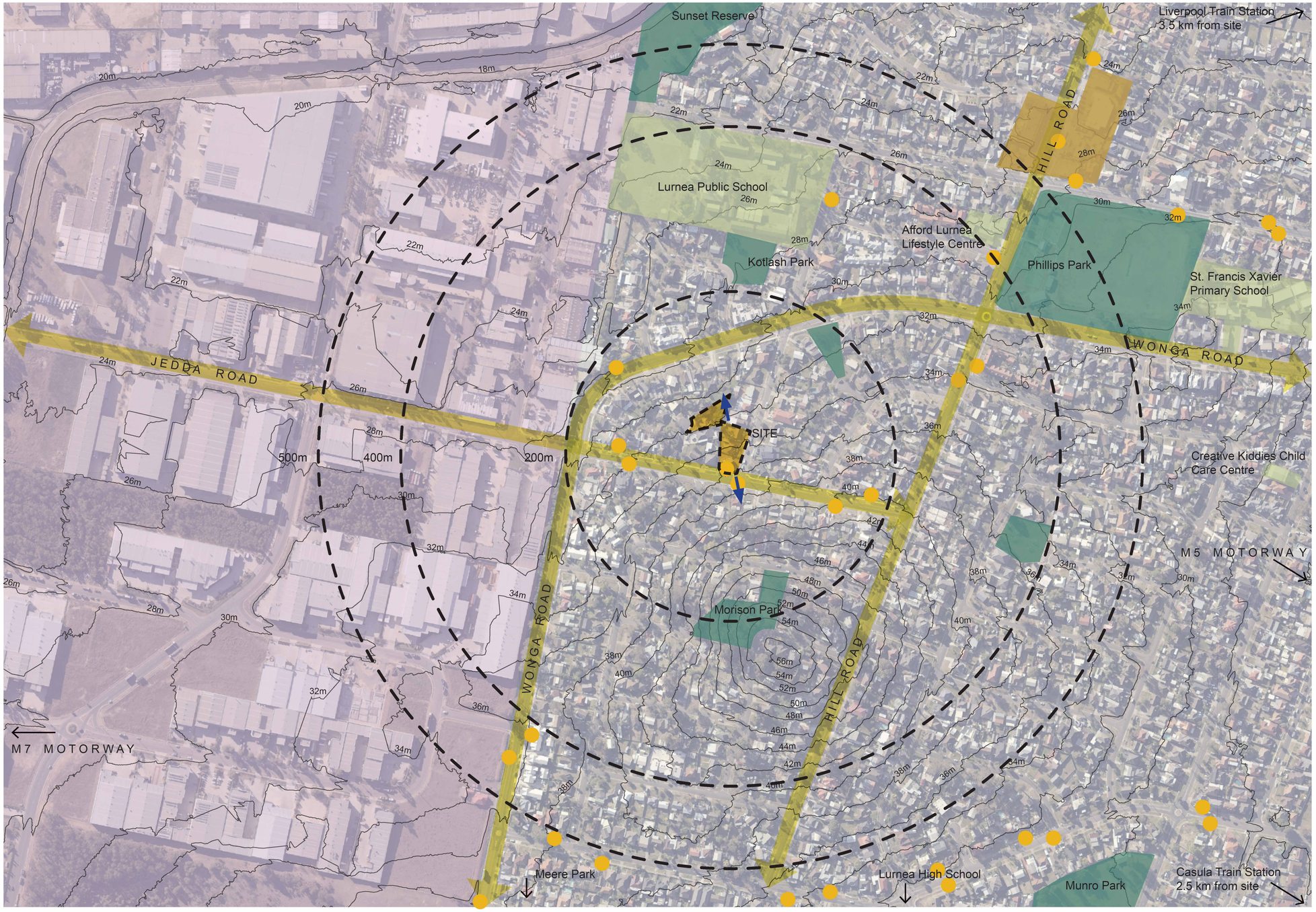
NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
COVER SHEET & LOCATION PLAN

SCALE @ A1: N/A
SCALE @ A3: N/A
DRAWN: KC
VERIFIED: WP / GM
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER: BGYDY
SHEET NO: A001
ISSUE: F



LEGEND

- SITE 35 - 39 West Street and 5 Leo Avenue, Lurnea
- Open space
- Community
- Retail, Medical
- General Industrial
- Major Roads / Transport Links
- Bus Stop Locations
- 200m Distance Radius
- Views
- Contours (2m Intervals)

SITE ANALYSIS - BROAD SCALE

1 : 2500

0 10 25 100 250 500M

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALC	ALUMINIUM	CPD	CONCRETE PANEL	FP	FIRE PROOF DAMP PANEL	OPC	OPEN PORTLAND CEMENT CONCRETE	RW	RAINWATER PIPE	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	URN	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SCRATCHPROOME PLATED	WB	WHITEBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BC	BRICK CORED CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBG	PB - FIBREGLASS REINFORCEMENT	SM	SMOKE		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - INCORPORATED	SW	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE WATER RESISTANT	SP	SPRINGING POINT		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LT	LOUVRE	PCFC	PRE FINISHED CFC	SPB	SOAP DISPENSER		
CFC	CORRUGATED FIBRE CEMENT	EJ	EXPANSION	MAX	MAXIMUM	PCI	PRE CAST	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MDF	MEDIUM DENSITY FIBREBOARD	PLY	PLYWOOD	SWP	STORMWATER PIT		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDP	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CLOTHES LINE	FB2	FACE BRICK - TYPE 2	MJ	MOVEMENT JOINT	PLYW	PLYWOOD - WATERPROOF	TB	TOILET		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

REVISION

DATE	ISSUE	REVISION	BY
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ

300MM ON ORIGINAL

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LURNEA NSW 2170
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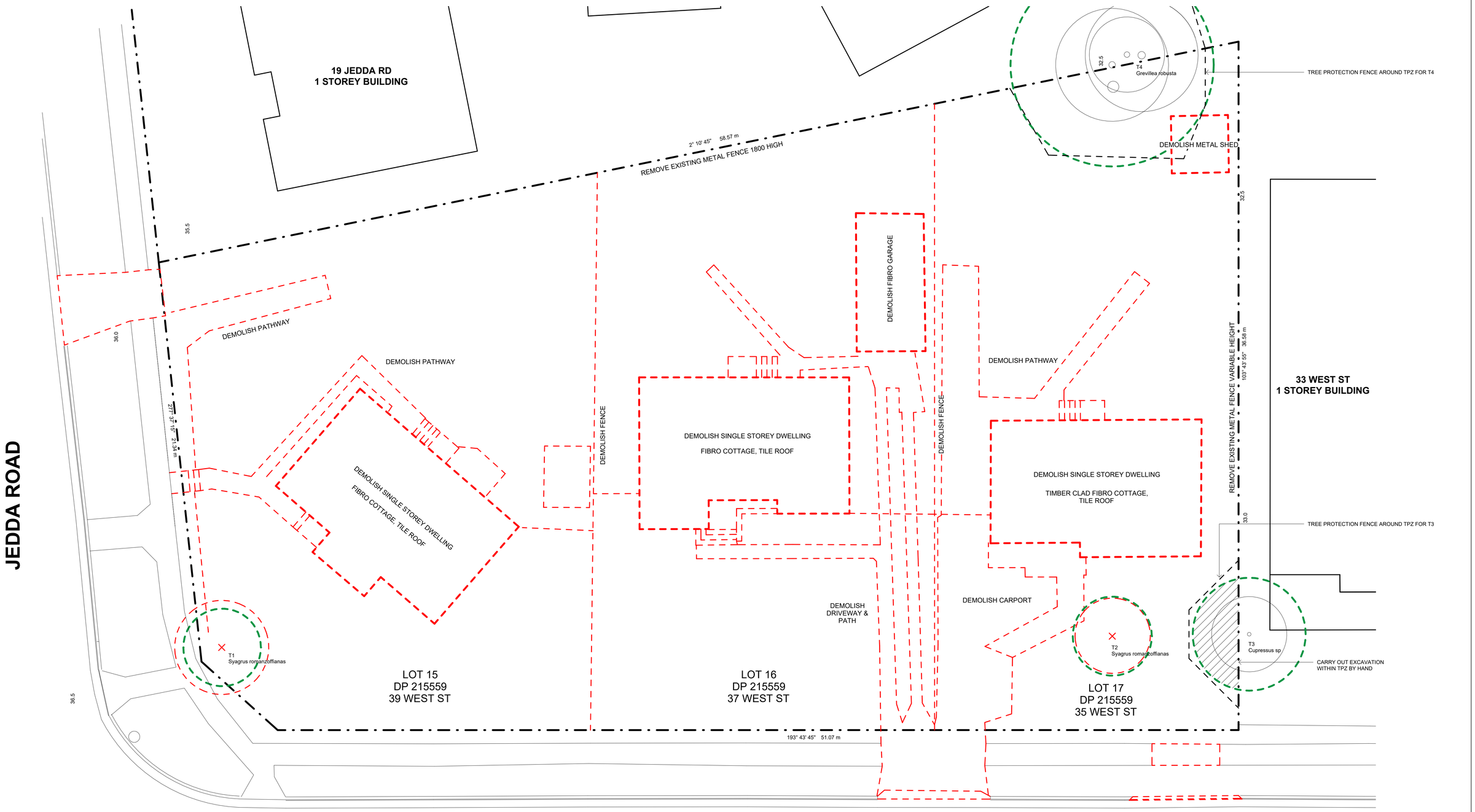
DRAWING TITLE
SITE ANALYSIS - BROAD SCALE CONTEXT

SCALE @ A1 1 : 2500
SCALE @ A3 1 : 5000
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER BGYDY
SHEET NO A002
ISSUE B



WEST STREET

DEMOLITION NOTES

1. STANDARD: TO AS2601(2001)
2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQ'S, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS, AND REMOVE FROM SITE.
3. SORT MATERIALS FOR POTENTIAL TO RECYCLCE OR RE-USE ON SITE.
4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.
5. EXISTING TREES & SHRUBS TO BE REMOVED: INCLUDE STUMP GRINDING & GRUBBING.
6. REMOVE ASBESTOS FROM EXISING DWELLINGS PRIOR TO DEMOLITION COMMMENCEMENT. SUBMIT HYGENIST'S CERTIFICATES CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED:
   1. PRIOR TO DEMOLITION
   2. AT COMPLETION.
7. REMOVE AND MAKE GOOD REDUNDANT DRIVEWAYS AND CROSSOVERS. REPLACE WITH KERB AND GUTTER WHERE REQUIRED.
8. REMOVAL ALL SURFACE DEBRIS, INCLUDING CONCRETE, MASONRY AND ASBESTOS PARTICLES.

LEGEND

- DEMOLISHED STRUCTURE
- DEMOLISHED FOOTPATH
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- TREE PROTECTION ZONE - TPZ

0 1 2.5 5 10 20M

1 DEMOLITION PLAN
1 : 100

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
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ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
BAL	BALCONY	CT	CERAMIC TILE	FW	FLOOR WASTE	PA	PLANTER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	FX	FIXED	PB	PLASTERBOARD	SCP	SOFA CHROME PLATED	VT	VENTILATOR
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BCD	BRICK CURBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBFR	PB - FIRE RESISTANT	SH	SHOWER		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTOM OF WALL UNIT	DR	DRAWER UNIT	JT	JOINT - EXPOSE LAMINATED SHEET	PC	PRECAST CONCRETE	SM	SOAP DISPENSER		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EQ	EQUIPMENT	MAX	MAXIMUM	PL	PLASTER - PLASTER RTS	SWP	SHOWER WATER PTS		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - REINFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
COL	COLLAPSIBLE METAL	FC	FIBRE CEMENT	MGB	MOP BOARD	PT	PAINT - PAINT TO RAINWATER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FGL	FINISHED GROUND LEVEL	MRS	METAL ROOF SHEETING	RCC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
09/10/23	REF	C	DJ
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ

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LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
DEMOLITION PLAN

SCALE @ A1 1 : 100 | SCALE @ A3 1 : 200
PROJECT NUMBER BGYDY
DRAWN KC | VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675
SHEET NO A006
ISSUE C

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

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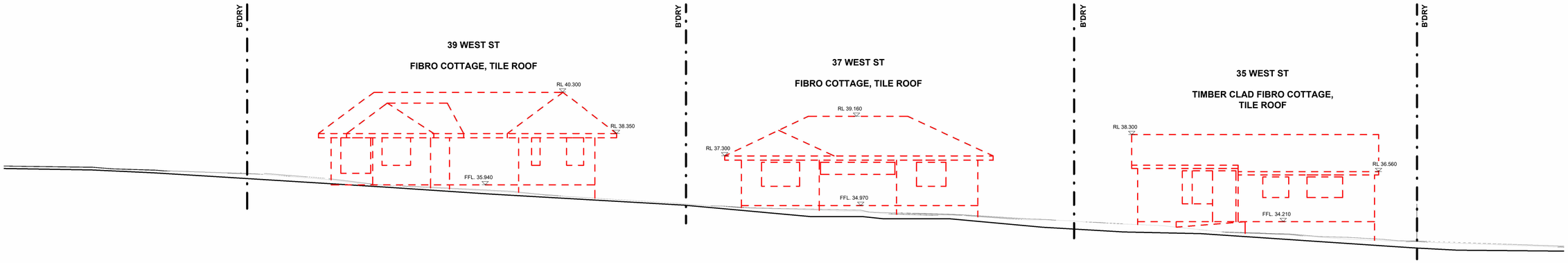
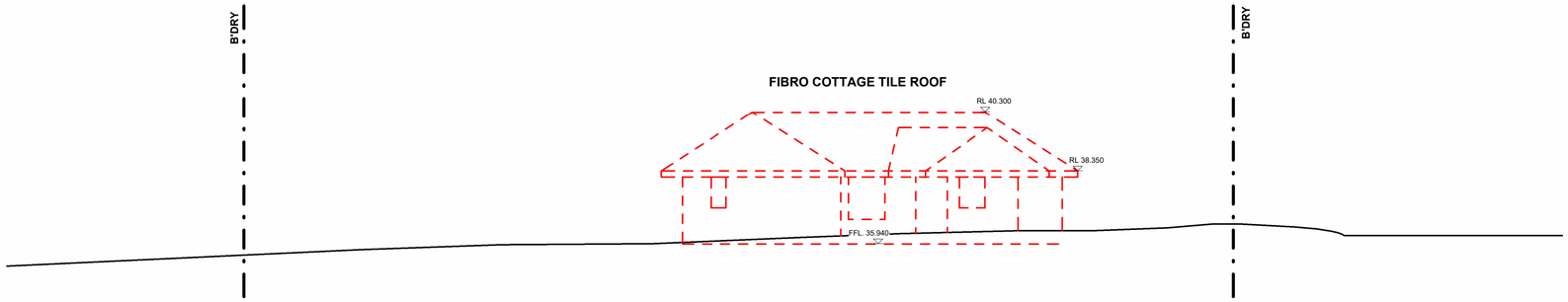
200MM
300MM ON ORIGINAL



1 EAST ELEVATION - DEMOLITION
1 : 100



2 SOUTH ELEVATION - DEMOLITION
1 : 100

39 WEST ST, LURNEA
LOOKING FROM WEST ST

37 WEST ST, LURNEA
LOOKING FROM WEST ST

35 WEST ST, LURNEA
LOOKING FROM WEST ST

0 1 2.5 5 10 20M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CONCRETE	FP	FIBREGLASS PANEL	P	PRECAST CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	PT	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CARPET REMOVER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SCREENCRETE PLATED	VP	VINYLBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BC	BASEBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	H	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTLE WARMER UNIT	E	ELECTRICAL	LAM	LAMINATE/ LAMINATED SHEET	PCF	PARTICLE CORE FIRE RESISTANT	SM	SMOKE DETECTOR		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL PIT		
CJT	CASTELLATED JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TILE		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ

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12 DARCY ST, PARRAMATTA NSW 2150

NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

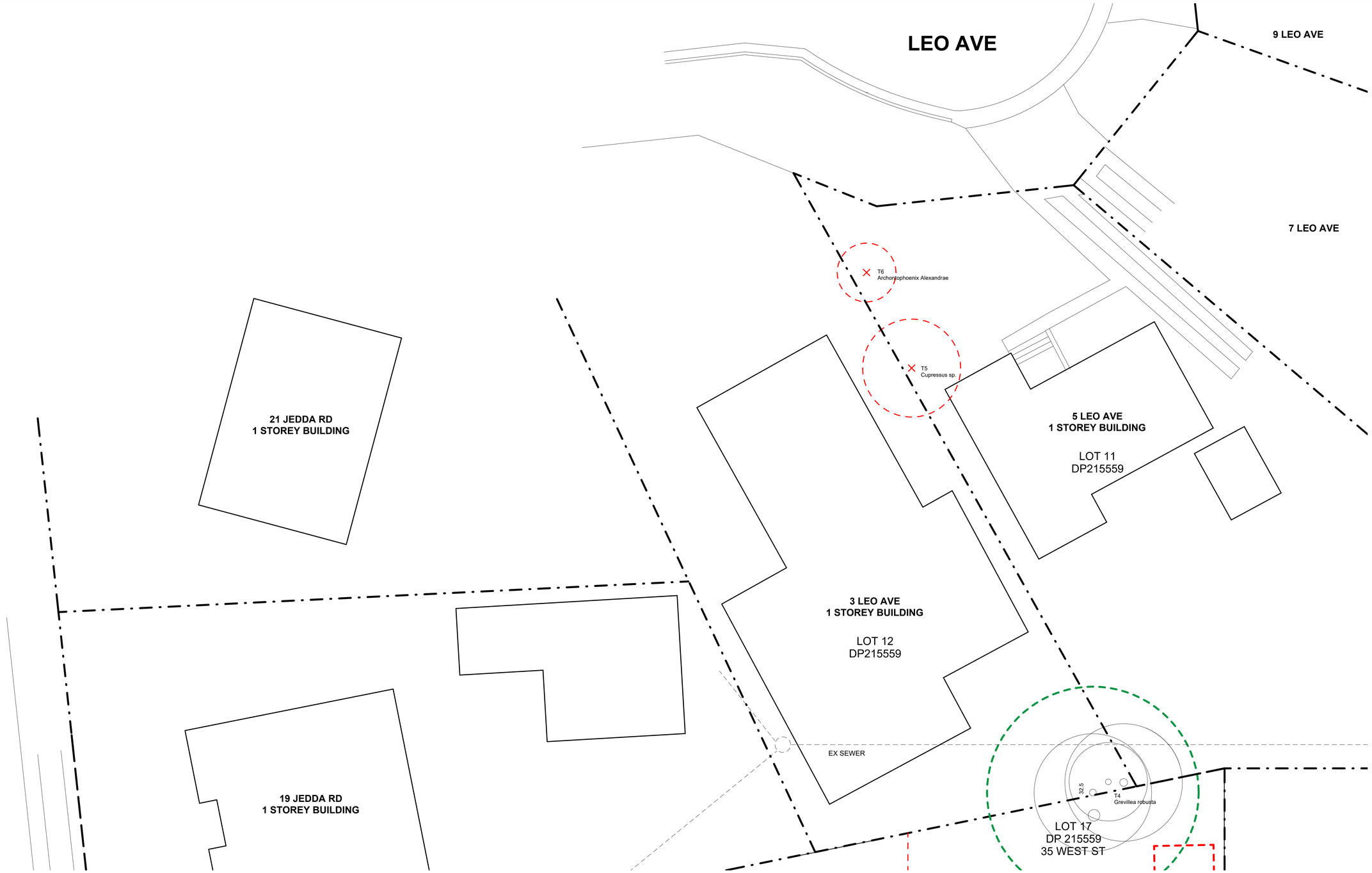
DRAWING TITLE
DEMOLITION ELEVATION

SCALE @ A1 1 : 100
SCALE @ A3 1 : 200
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A007

ISSUE
B



LEGEND

- DEMOLISHED STRUCTURE
- DEMOLISHED FOOTPATH
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- TREE PROTECTION ZONE - TPZ

0 1 2.5 5 10 20M

1 DEMOLITION PLAN - 5 LEO AVE

1 : 100

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CONCRETE PADDLE	FP	FIBREGLASS PLASTER PANEL	OPC	OPTICAL CONCRETE	RW	RAINWATER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	URN	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CARPET PADDLE AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SOAP DISPENSER CHROME PLATED	WB	WHITEBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BUC	BUILT UNDERCOUNTER CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBFW	PB - FIRE & WATER RESISTANT	SH	SHOWER		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HB	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBWF	PB - FIRE WATER RESISTANT	SP	SPRINGING POINT		
CB	CONCRETE BLOCK	EDB	ELECTRICAL DISTRIBUTION BOARD	LT	LIGHTS	PCFC	PRE COATED CFC	SPB	STAINLESS STEEL		
CFC	COMPRESSED FIBRE CEMENT	EG	EGRESS	LOUVRE	LOUVRE	PD	PERFORATED	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CLOTHES LINE	FB2	FACE BRICK - TYPE 2	MJD	MOVEMENT JOINT DEVICE	PTD	PAINTED TIMBER	TB	TOILET		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

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03/10/23	REF	B	DJ
20/09/23	REF	A	DJ
DATE	ISSUE	REVISION	BY

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NORTH

PROJECT
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LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
DEMOLITION PLAN - 5 LEO AVE

SCALE @ A1	SCALE @ A3
1 : 100	1 : 200
DRAWN DJ	VERIFIED WP

APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A008

ISSUE
B

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

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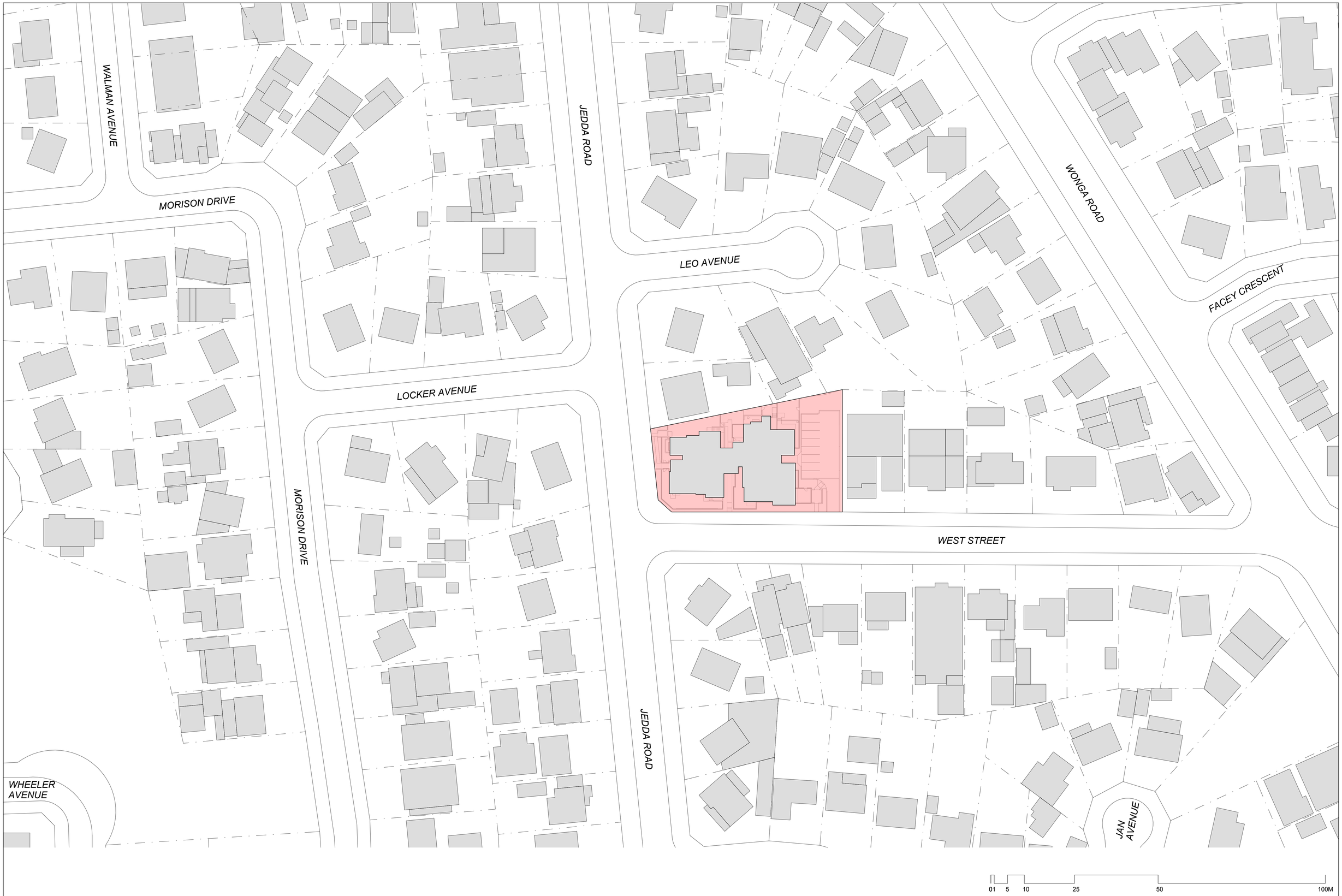
200MM

300MM ON ORIGINAL



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LEGEND

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
BLOCK ANALYSIS PLAN

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1:500	1:1000	BGYDY
DRAWN	VERIFIED	SHEET NO
DJ	WP / GM	A003
APPROVED TO ISSUE		ISSUE
WILLIAM PHELPS ARN 6675		B

0 10 20 30 40 50 60 70 80 90 100
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE
200MM
300MM ON ORIGINAL

LEGEND

- Existing Trees
- Existing Tree Planting Neighbourhood
- Poles
- Existing building outline
- xxx Existing Setback

1 SITE ANALYSIS - IMMEDIATE CONTEXT 1

1 : 250

0 1 2.5 10 25 50M

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CR	CURTAIN RAIL	FL	FLOOR LEVEL	OG	OGEE GUTTER	RWG	RAINWATER GUTTER	VA	VANITY
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBF	PB - FIRE RESISTANT	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBIF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR		
BOC	BOTTOM OF CURB	DPM	DAMP PROOF MEMBRANE	H	HOOK	PBIW	PB - IMPACT WALL	SK	SKYLIGHT		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT		
C	CEILING	DB	DOMESTIC ELECTRICAL DISTRIBUTION BOARD	L	LAUNDRY TUB	PC	PRECAST CONC.	SPB	SPLASHBACK TILE		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PDRF	PERFORATED	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT		
CL	CLOTHES RODS	FC	FIBRE CEMENT - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PR	PAINT - REINFORATED	T	TIMBER		
CT	CENTRE LINE	FBZ	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TILES		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FFL	FINISHED FLOOR LEVEL	MS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SITE ANALYSIS - IMMEDIATE CONTEXT 1

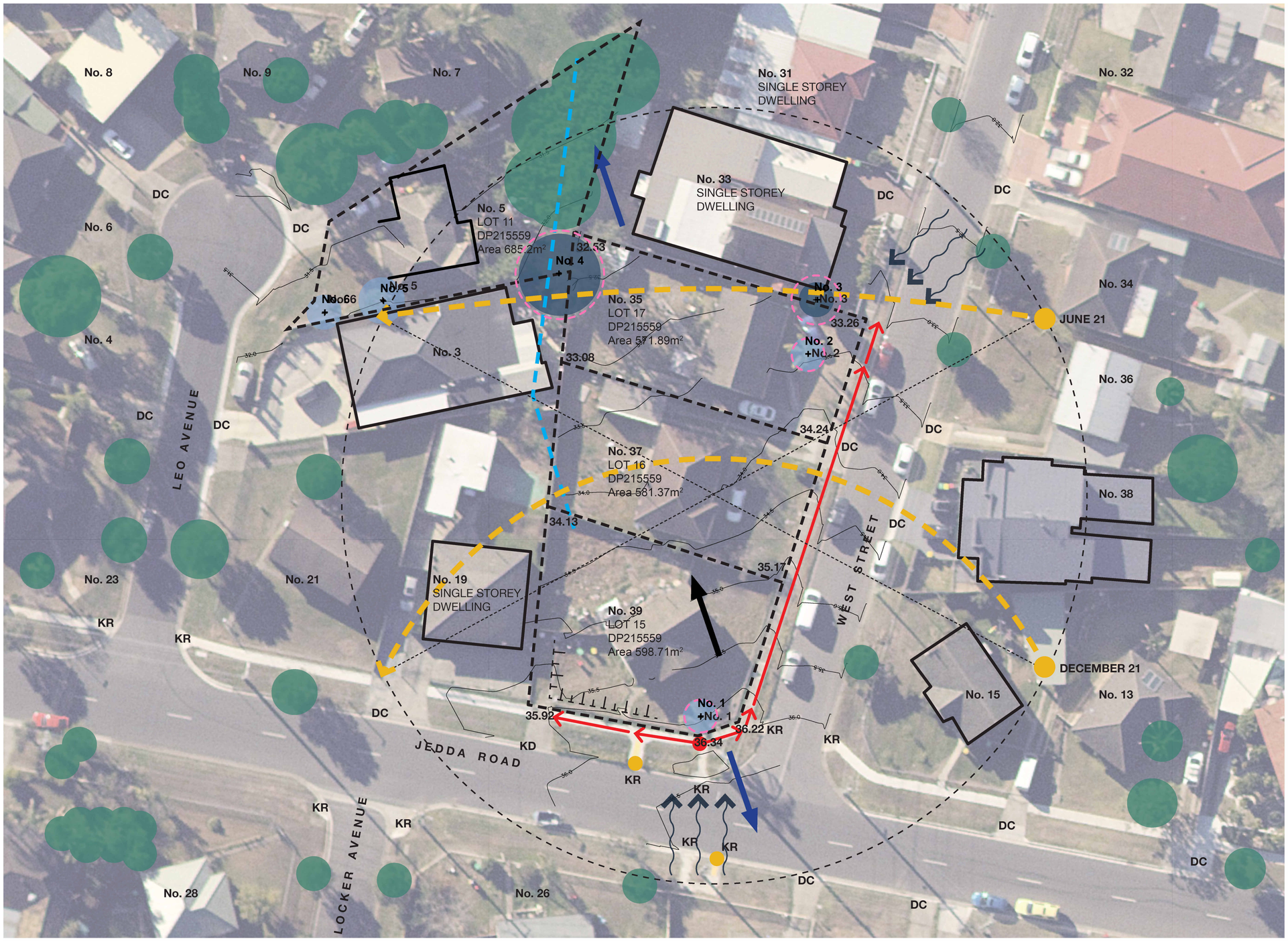
SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 250	1 : 500	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A004
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE B

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



LEGEND

SITE
35 - 39 West Street
- LOT 15, DP 215559
- LOT 16, DP 215559
- LOT 17, DP 215559

TOTAL AREA: 1,747.4 m²

5 Leo Avenue
- LOT 11, DP 215559
Easement Only

Existing Tree - To be removed
No 1: *Syagrus romanzoffianas*
Category Z3; 7m high
No 2: *Syagrus romanzoffianas*
Category Z3; 8m high
No 5: *Cupressus sp.*
Category Z12; 7m high
No 6: *Archontophoenix alexandrae*
Category Z12; 5m high

Existing Tree - To be retained
No. 4: *Grevillea robusta*
Category A1; 16m high
No 3: *Cupressus sp.*
Category Z12; 7m high

Existing Tree Planting Neighbourhood

Tree Protection Zone

Privacy - Neighbouring Buildings overlooking site

JUNE 21 — Sun Path

Cool Summer Winds

+ 36.34 — Existing Site Levels

Contours (0.5m Intervals)

Fall

Views

Sewer

Bank

Bus Stop Locations

Existing Footpath Falls

KR — Kerb Ramp

DC — Driveway Crossing

1 SITE ANALYSIS - IMMEDIATE CONTEXT 2

1 : 250

0 1 2.5 10 25 50M

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FWR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ALUM	ALUMINIUM	CPD	CONCRETE PADDLE	FX	FIXED	OFC	OFFICE WITH CONCRETE	RO	ROOF OUTLET	UNO	UNLESS NOTED OTHERWISE		
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL		
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BALS	BALLUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PLASTERBOARD	SCP	SKYLIGHT COME PLATED	WB	WHITEBOARD		
BALT	BALLUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PLASTIC BUSTIC	SD	SOUND DAMPENER	WC	WATER CLOSET		
BRN	BRASS	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR				
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BRG	BRICK RETAINING WALL	DR	DOOR - TIMBER HINGED	HT	HOT WATER TANK	PBPF	PB - PERFORATED FIRE	SL	SKYLIGHT LINE				
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBPW	PB - FIRED WATER RESISTANT	SP	SPRINGING POINT				
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CFC	CONCRETE FIBRE CEMENT	EJ	EXPANSION	M	MIRROR	PCW	PREFINISHED CW	SPT	SOLID PARTITION				
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
CL	CLOTHS LINE	FB2	FACE BRICK - TYPE 2	MFD	MOTION DETECTOR DEVICE	PT	PAINT - TIMBER	TB	TOILET				
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MWS	MWA SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

REVISION

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DRAWING TITLE
SITE ANALYSIS - IMMEDIATE CONTEXT 2

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 250	1 : 500	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A005
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE B

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

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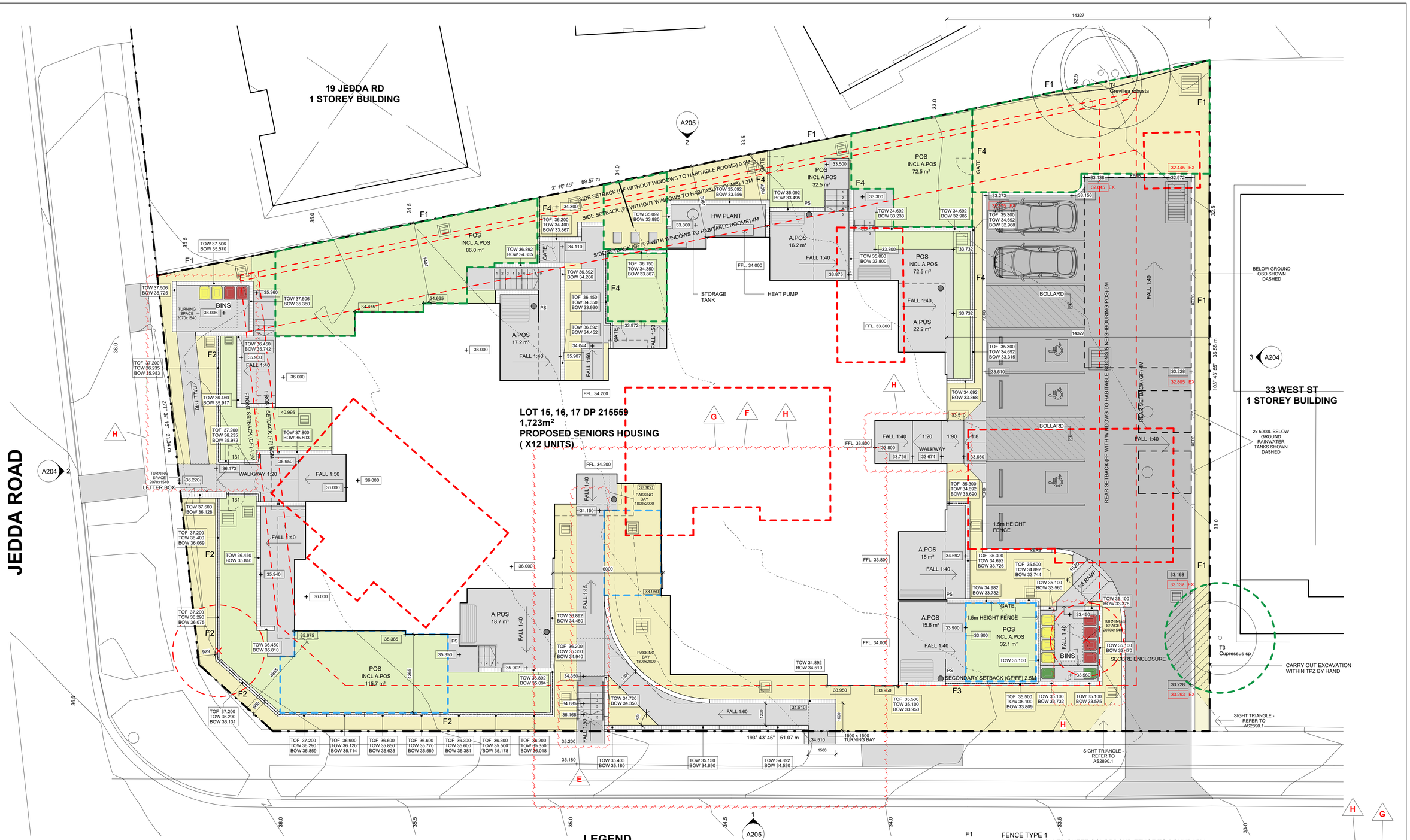
200MM

300MM ON ORIGINAL



LEGEND

- CONCRETE PAVING TYPE 1
- CONCRETE PAVING TYPE 2
- + XX.XXX — PROPOSED SPOT LEVEL
- XX.XXX EX — EXISTING SPOT LEVEL REMOVED
- EXISTING TREE RETAINED
- EXISTING TREE TO BE REMOVED
- EXISTING CONTOUR
- EXISTING CONTOUR REMOVED
- DEMOLISH EXISTING BUILDING
- SETBACK
- A.POS — ACCESSIBLE PRIVATE OPEN SPACE

F1	FENCE TYPE 1 STEEL PRE-ROLLED SHEET COLORBOND FENCE TO BOUNDARY HEIGHT 1800mm MAX
F2	FENCE TYPE 2 POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL HEIGHT 1200mm MAX (MEASURED FROM PUBLIC SIDE)
F3	FENCE TYPE 3 POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL HEIGHT 1500mm MAX (MEASURED FROM PUBLIC SIDE)
F4	FENCE TYPE 4 POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) HEIGHT 1800mm MIN (MEASURED FROM PUBLIC SIDE)
PS	ALUM VERTICAL SLAT PRIVACY SCREEN

COMMON LANDSCAPE AREA	307.9 M²
LANDSCAPE AREA	246.8 M²
DEEP SOIL ZONE MIN. 3M WIDE	69.9 M²
DEEP SOIL ZONE (AT REAR) MIN. 3M WIDE	189.6 M²

0 1 2.5 5 10 20M

1 SITE PLAN

1 : 100

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ALUM	ALUMINIUM	CPT	CARPET TILE	FIP	FIBREGLASS PANEL	P	PAINT / PAINTED	RW	RAINWATER PIT	UNO	UNLESS NOTED OTHERWISE		
ATD	AS TURNS OUT	CPT	CARPET	FV	FLUE VENT	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL			
BALT	BALUSTRADE - TYPE 1	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BALZ	BALUSTRADE - TYPE 2	CRP	CARPET / RUBBER AND PAINT	GB	GLASS BRICK	PB	PLASTERBOARD	SCP	SOLID CHROME PLATED	WB	WEATHERBOARD		
BBN	BASIN	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET		
BCD	BRICK CHAMFERED CORE	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BCE	BRICK ON EDGE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHOWER				
BOW	BOTTOM OF WALL	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BRU	BRUSH STRIP UNIT	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE				
C	CONCRETE	E	ELECTRICAL	JT	JOINERY TO ALL LAMINATED SHEET	PC	PRECAST CONCRETE	SMT	SOAP DISPENSER				
CFC	COMPRESSED FIBRE CEMENT	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CJ	CONTROL JOINT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL				
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	STMP	STAMPED WATER PIT				
CL	CENTRE LINE	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - REINFORATED	T	TIMBER				
COL	COLUMN - PRECAST METAL	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF				
COL	COLUMN	FC	FIBRE CEMENT	MIR	MIRROR	PTD	PAPER TOWEL DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
CO	CABLE OUTLET	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
		FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM 300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	H	DJ
15/05/24	REVISED REF	G	DJ

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12 DARCY ST, PARRAMATTA NSW 2150

NORTH

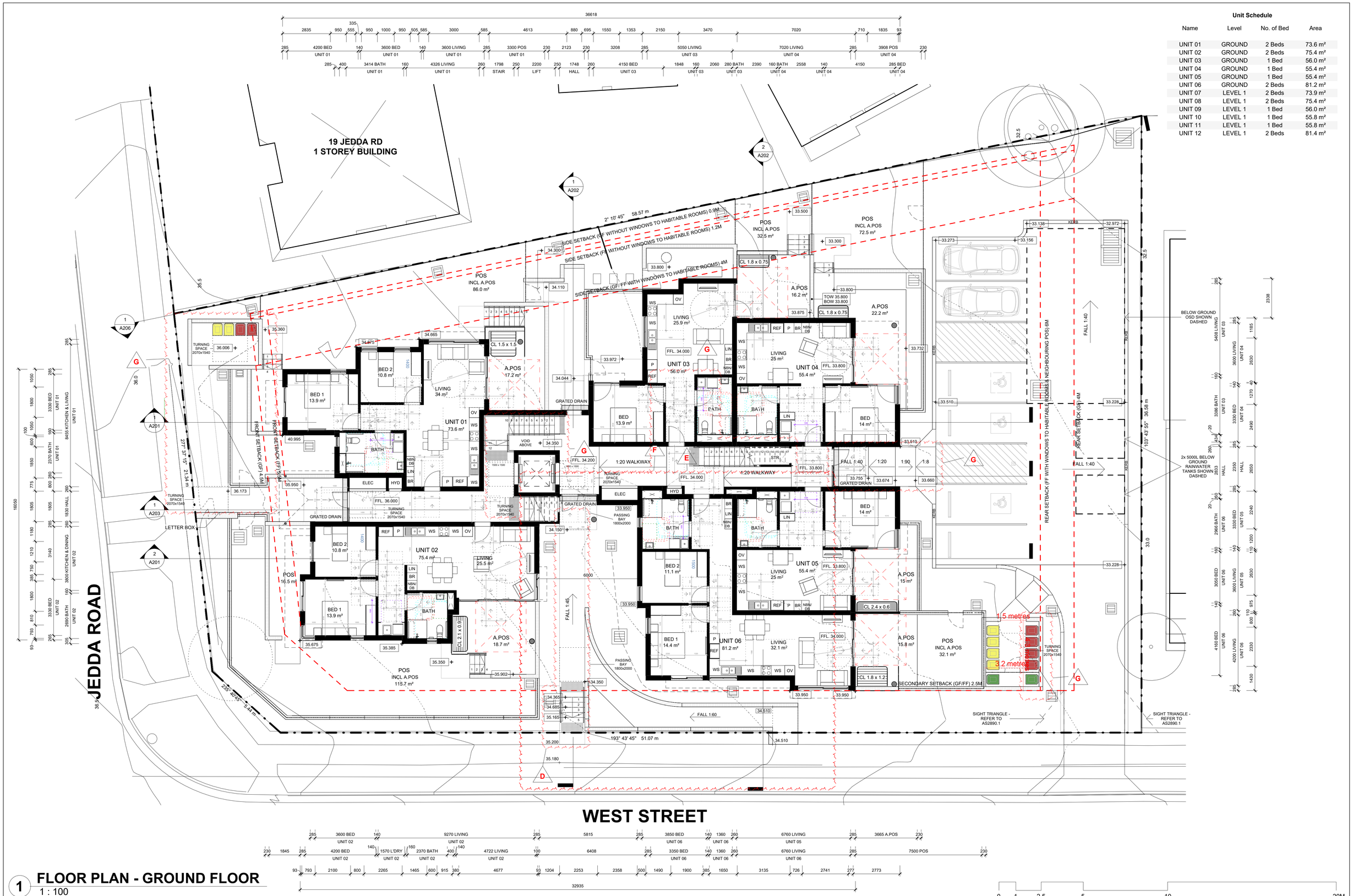
PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SITE PLAN

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 100	1 : 200	BGYDY
DRAWN KC	VERIFIED WP / GM	SHEET NO A009
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE H

Unit Schedule

Name	Level	No. of Bed	Area
UNIT 01	GROUND	2 Beds	73.6 m²
UNIT 02	GROUND	2 Beds	75.4 m²
UNIT 03	GROUND	1 Bed	56.0 m²
UNIT 04	GROUND	1 Bed	55.4 m²
UNIT 05	GROUND	1 Bed	55.4 m²
UNIT 06	GROUND	2 Beds	81.2 m²
UNIT 07	LEVEL 1	2 Beds	73.9 m²
UNIT 08	LEVEL 1	2 Beds	75.4 m²
UNIT 09	LEVEL 1	1 Bed	56.0 m²
UNIT 10	LEVEL 1	1 Bed	55.8 m²
UNIT 11	LEVEL 1	1 Bed	55.8 m²
UNIT 12	LEVEL 1	2 Beds	81.4 m²



1 FLOOR PLAN - GROUND FLOOR

1 : 100

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CR	CURTAIN RAIL	FL	FLOOR LEVEL	PA	PLANTER BOX	RWG	RAINWATER GUTTER	VC	VINYL COVE
ATO	AS TURNS OUT	CS	CEMENT RENDER	FW	FLOOR WASTE	PB	PAVER	SC	SCREEN	VNL	VINYL
BALI	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD
BALT	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBF	PB - FIRE RESISTANT	SD	SOAP DISPENSER	WC	WATER CLOSET
BSIN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - IMPACT RESISTANT	SG	SECURITY GATE		
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - INSULATION	SIM	SIMILAR		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	H	HOOK	PBW	PB - WATER RESISTANT	SL	SLOPE		
BOW	BOTTOM OF WALL	DPN	DOWNPIPE SPREADER	INS	INSULATION	PBWF	PB - FIRE/ WATER RESISTANT	SL	SHADOWLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBWI	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT		
CC	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	E	EXHAUST	MAN	MANHOLE	PCI	PREFINISHED	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TUFF		
CLR	CLEAR/ CLEARED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PR	PAPER TOWEL DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOP	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	G	DJ
15/05/24	REVISED REF	F	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

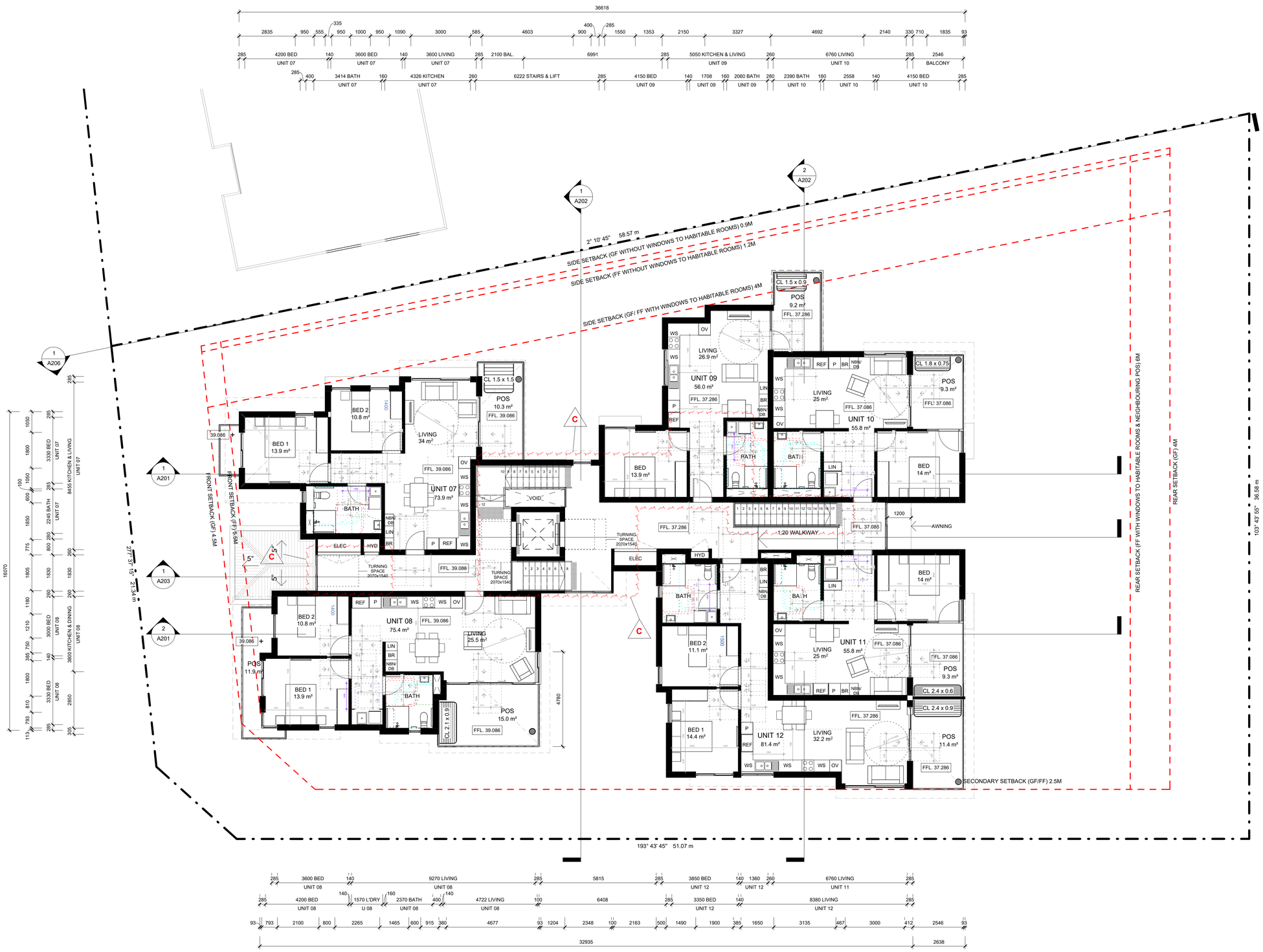
DRAWING TITLE
FLOOR PLAN - GROUND FLOOR

SCALE @ A1 1 : 100 | SCALE @ A3 1 : 200
DRAWN KC | VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675
PROJECT NUMBER BGYDY
SHEET NO A101
ISSUE G

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE
200MM
300MM ON ORIGINAL

Unit Schedule

Name	Level	No. of Bed	Area
UNIT 01	GROUND	2 Beds	73.6 m²
UNIT 02	GROUND	2 Beds	75.4 m²
UNIT 03	GROUND	1 Bed	56.0 m²
UNIT 04	GROUND	1 Bed	55.4 m²
UNIT 05	GROUND	1 Bed	55.4 m²
UNIT 06	GROUND	2 Beds	81.2 m²
UNIT 07	LEVEL 1	2 Beds	73.9 m²
UNIT 08	LEVEL 1	2 Beds	75.4 m²
UNIT 09	LEVEL 1	1 Bed	56.0 m²
UNIT 10	LEVEL 1	1 Bed	55.8 m²
UNIT 11	LEVEL 1	1 Bed	55.8 m²
UNIT 12	LEVEL 1	2 Beds	81.4 m²



1 FLOOR PLAN - LEVEL 1

1 : 100

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALUM	ALUMINIUM	CPT	CARPET TILE	FE	FIRE EXTINGUISHER	OPC	OPEN PORTLAND CONCRETE	RWG	RAINWATER GUTTER	UN	UNLESS NOTED OTHERWISE
ATO	AS TURNS OUT	CR	CARPET	FV	FLUE VENT	P	PAINTED	SC	SCREEN	UR	URINAL
BAL	BALUSTRADE	CT	CERAMIC TILE	FW	FLOOR WASTE	PA	PAVER	SCP	SCREEN PARCIME PLATED	VNL	VINYL
BALJ	BALUSTRADE - TYPE 1	CTP	CONCRETE TOPPING	GA	GAS	PB	PARTICLEBOARD	SD	SOAP DISPENSER	WB	WEATHERBOARD
BSN	BASIN	DP	DOWNPIPE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SG	SECURITY GATE	WC	WATER CLOSET
BTB	BRICK SOLDIER CORE	DPC	DAMP PROOF COURSE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SGL	SINGLE		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	HR	HANDRAIL	PBP	PB - PERFORATED	SL	SHADOWLINE		
BWU	BOTTOM WALL UNIT	E	EXHAUST	INS	INSULATION	PBW	PB - WATER RESISTANT	SR	SHOWER RESISTANT		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LAM	LAMINATE LAMINATED SHEET	PCC	PRECAST CONCRETE	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	LV	LOUVRE	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	M	MIRROR	PL	PLASTER	SWP	SWIMMING POOL		
CL	CENTRE LINE	FB	FACE BRICK - TYPE 1	MAX	MAXIMUM	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CM	CORRUGATED METAL	FB2	FACE BRICK - TYPE 2	MDF	MEDIUM DENSITY FIBREBOARD	POS	PRIVATE OPEN SPACE	TF	TILE		
COL	COLUMN	FC	FIBRE CEMENT	MFD	MULTI-FUNCTION DEVICE	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
CO	CABLE OUTLET	FCL	FINISHED CEILING LEVEL	MIN	MINIMUM	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
		FFL	FINISHED FLOOR LEVEL	MRB	METAL ROOF SHEETING	REF	REFRIGERATOR	TOF	TOP OF FENCE		
				MSB	MAIN SWITCH BOARD						

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100 — 200MM — 300MM ON ORIGINAL

REVISION			
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGS'S & HANDRAIL EXTENSIONS DELETED	C	DJ
03/10/23	REF	B	DJ
DATE	ISSUE	REVISION	BY

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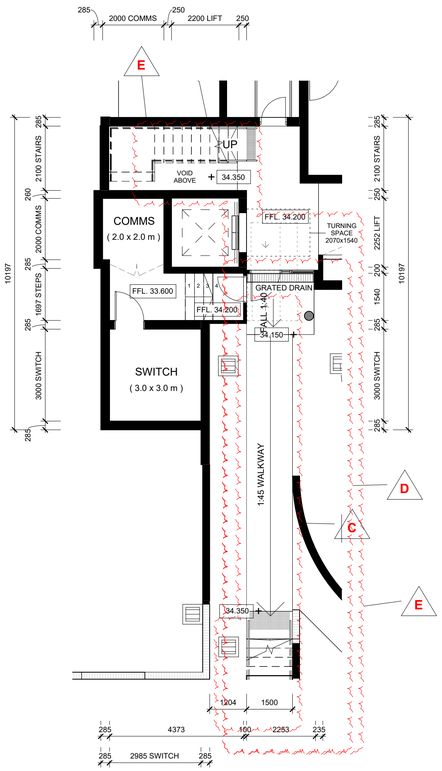
NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
FLOOR PLAN - LEVEL 1

SCALE @ A1: 1 : 100
SCALE @ A3: 1 : 200
DRAWN: KC
VERIFIED: WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER: BGYDY
SHEET NO: A103
ISSUE: C



1 SERVICE LEVEL 33.600

1 : 100

0 1 2.5 5 10 20M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ALUM	ALUMINIUM	CPD	CONCRETE PADDLE	FIP	FIRE INDICATOR PANEL	OPC	OPTICAL CONCRETE	RW	RAINWATER	UNO	UNLESS NOTED OTHERWISE		
ALUM	ALUMINUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL		
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BAL	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SHOWER CHROME PLATED	WB	WHITEBOARD		
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET		
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BTC	BRICK PICKARD CORE	DPC	DAMP PROOF COURSE	GRC	GLASS REINFORCING TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHOWER				
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE				
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE WATER RESISTANT	SPB	SPRINGING POINT				
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LT	LOUVRE	PCFC	PRE CAST FLOOR CFC	SR	STAIR RISER				
CFC	COMPRESSED FIBRE CEMENT	EG	EXHAUST	LTD	LIMITED	PD	PERFORATED	SS	STAINLESS STEEL				
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
CL	CLOTHES LINE	FB2	FACE BRICK - TYPE 2	MED	MEDICAL GAS PROTECTION DEVICE	PT	PAINT TO FINISH	TB	TOILET				
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

REVISION			
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	E	DJ
15/05/24	REVISED REF	D	DJ
DATE	ISSUE	REVISION	BY

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LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
LOWER GROUND FLOOR

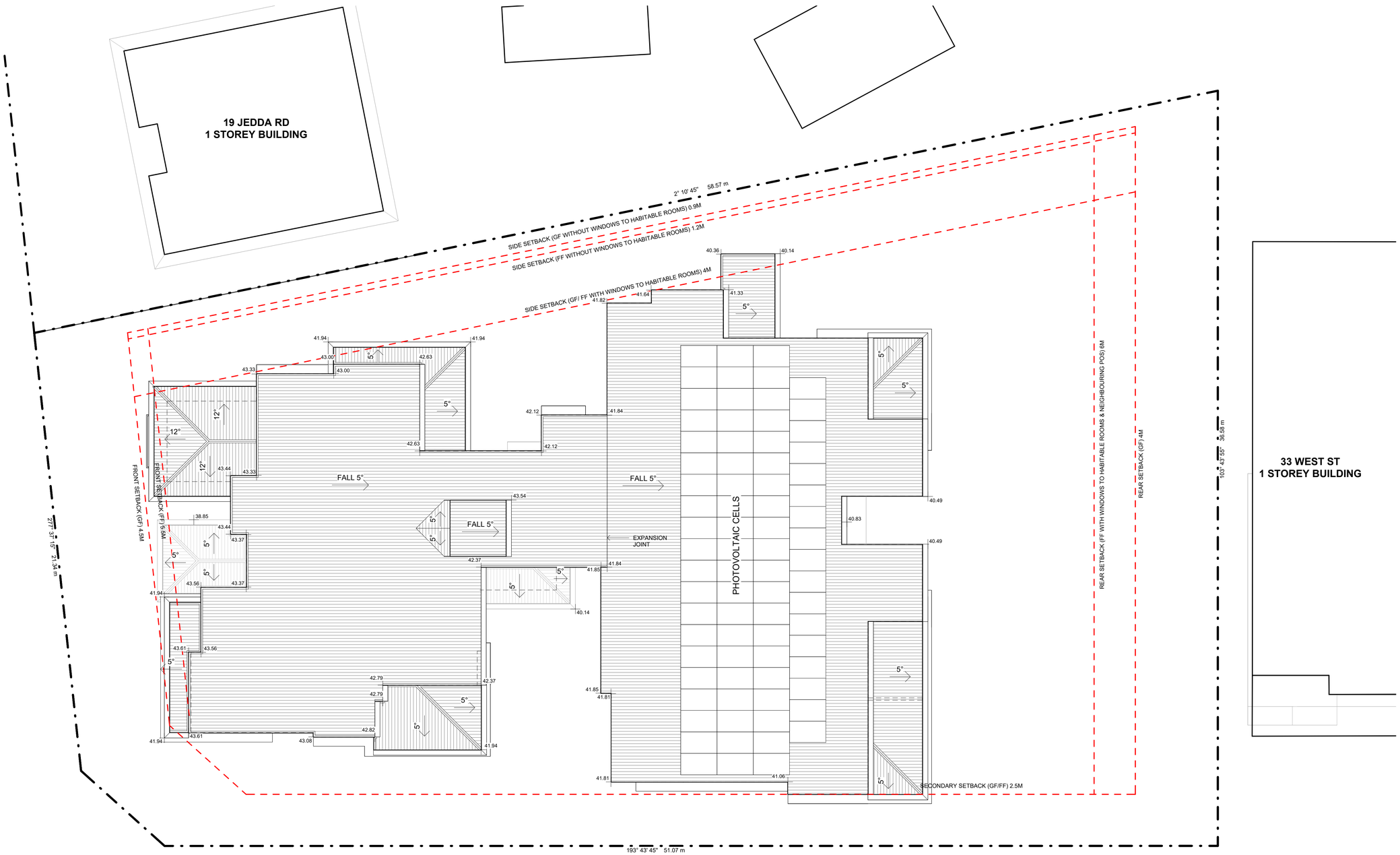
SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 100	1 : 200	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A102
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE E

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



1 ROOF PLAN

1 : 100

0 1 2.5 5 10 20M

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AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CONCRETE	FP	FIRE PLACE/ FIRE PANEL	OP C	OPTICAL CONCRETE	RW	RAINWATER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL	BALUSTRADE - TYPE 1	CRP	CARPET REMOVE AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SOLID CHROME PLATED	WB	WEATHERBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BW	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTOM OF WALL UNIT	E	EXHAUST FAN	LAM	LAMINATE/ LAMINATED SHEET	PCF	PARTICLE BOARD OR RESISTANT	SM	SMOKE DETECTOR		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL		
CL	CENTRE LINE	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CM	CORRUGATED METAL	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
COL	COLUMN	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
CJL	CABLE JOINT	FCL	FINISHED CEILING LEVEL	MSB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION			
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ
DATE	ISSUE	REVISION	BY

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
ROOF PLAN

SCALE @ A1 1 : 100
SCALE @ A3 1 : 200
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A104

ISSUE
B

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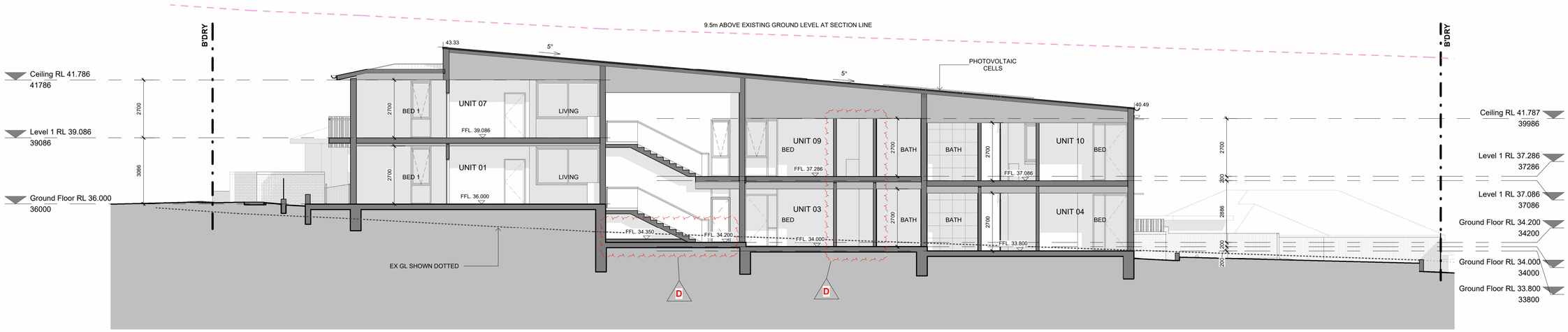
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

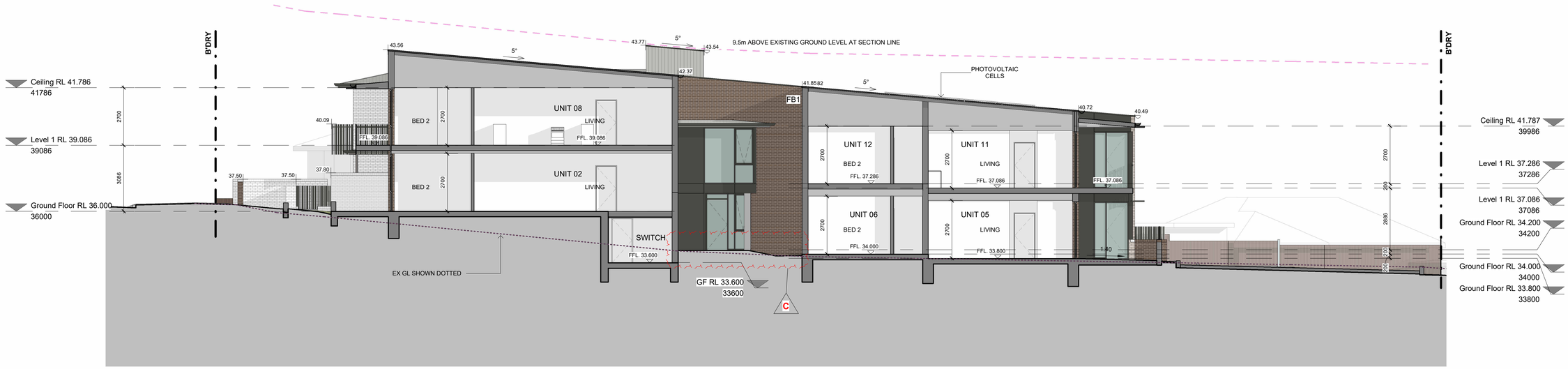
200MM

300MM ON ORIGINAL



1 WEST SECTION 1

1 : 100



2 WEST SECTION 2

1 : 100

0 1 2.5 5 10 20M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALUM	ALUMINIUM	CPD	CONCRETE PADDITOR PANEL	FP	FIRE PLACE	P	PRECAST CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	PT	PAINTED	RWG	RAINWATER GUTTER	URI	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BALC	BALCONY - TYPE 1	CRP	CARPET TILE AND PAINT	G	GAS	PB	PLASTERBOARD	SCP	SCREEN/ONE PLATED	WB	WEATHERBOARD
BALZ	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BC	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	H	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTOM OF WALL UNIT	E	ELECTRICAL	LAM	LAMINATE/ THE LAMINATED SHEET	PCF	PREFINISHED CFC RESISTANT	SP	SOAP DISPENSER		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL		
CL	CLOTHES LINE	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFG	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SECTIONS 1

SCALE @ A1 1 : 100
SCALE @ A3 1 : 200
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A201

ISSUE
D

1 SOUTH SECTION 1 - JEDDA ST

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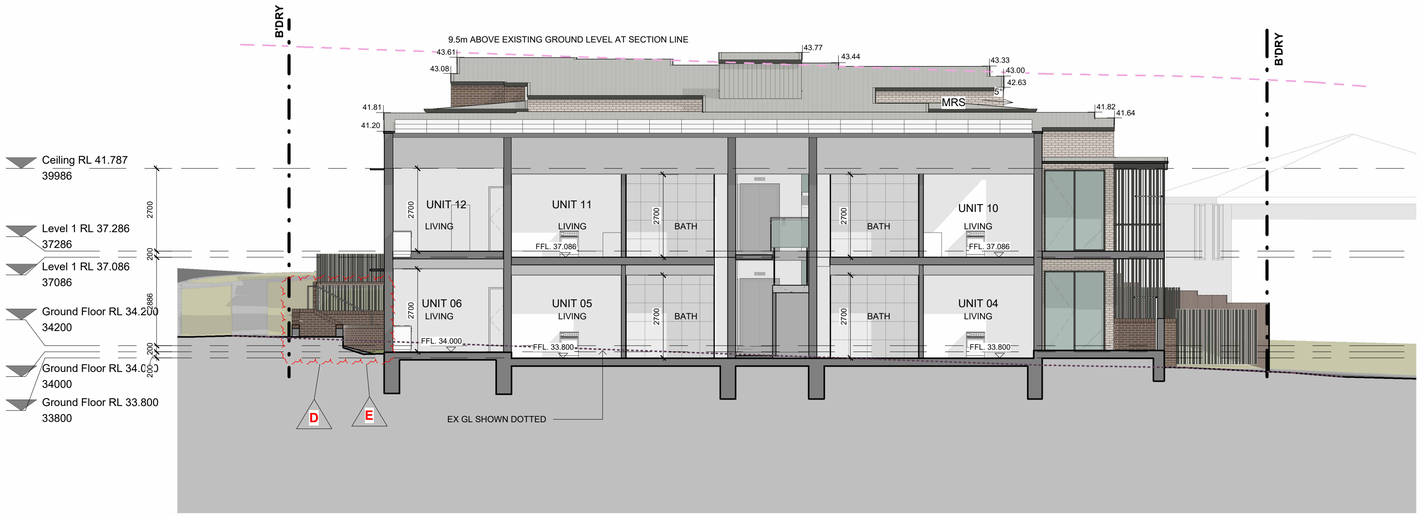

2 SOUTH SECTION 2 - JEDDA ST

1 : 100

0 1 2.5 5 10 20M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CONCRETE PADDOCK	FP	FIBREGLASS PANEL	P	PRECAST CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	PT	PAINTED	RWG	RAINWATER GUTTER	URN	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SOAP DISPENSER PLATED	VP	VANITY BOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BTC	BRICK PANEL/CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBFR	PB - FIRE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BRICK WORK UNIT	E	ELECTRICAL	LAM	LAMINATE/ LAMINATED SHEET	PBWR	PB - WATER & FIRE RESISTANT	SP	SOAP DISPENSER		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL		
CL	CLOTHES LINE	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	E	DJ
15/05/24	REVISED REF	D	DJ

200MM

300MM ON ORIGINAL

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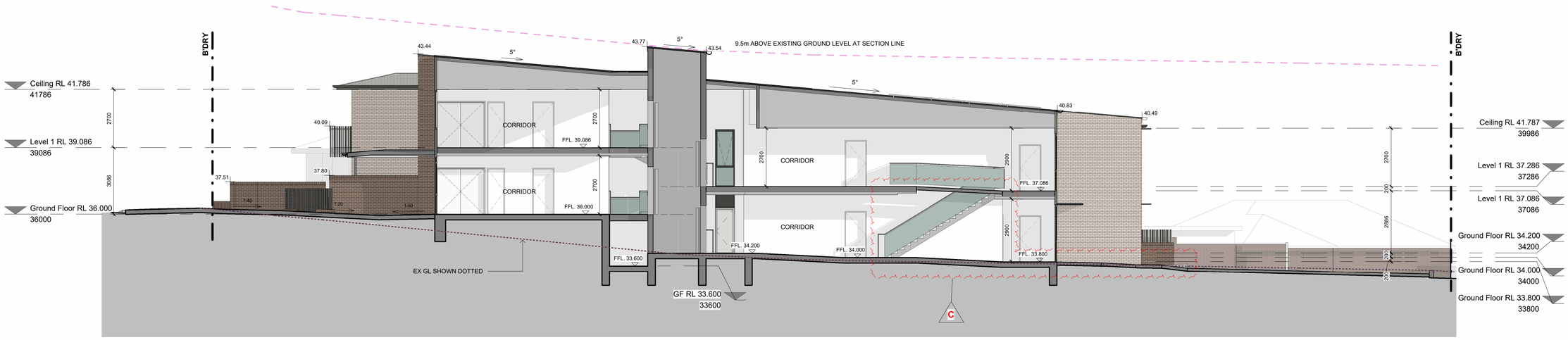
NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SECTIONS 2

SCALE @ A1 1 : 100
SCALE @ A3 1 : 200
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER BGYDY
SHEET NO A202
ISSUE E



1 WEST SECTION 3

1 : 100

0 1 2.5 5 10 20M

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LEGEND

REVISION

DATE	ISSUE	REVISION	BY
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03/10/23	REF	B	DJ

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NORTH

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LURNEA NSW 2170
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DRAWING TITLE
SECTION 3

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 100	1 : 200	BGYDY
DRAWN KC	VERIFIED WP / GM	SHEET NO A203
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE C

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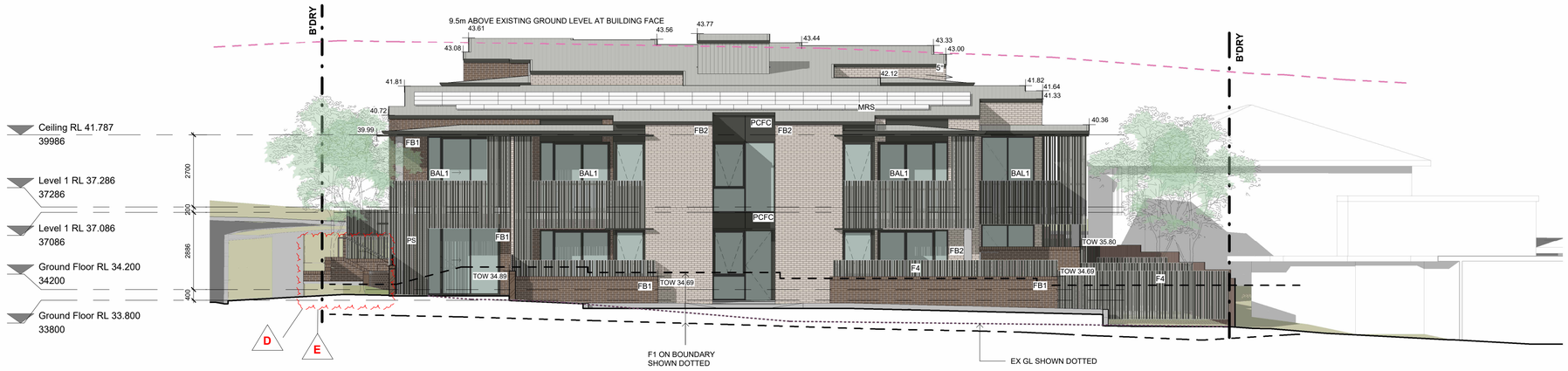
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



1 NORTH ELEVATION
1 : 100

2 SOUTH (JEDDA ROAD) ELEVATION
1 : 100

LEGEND

F1 — FENCE TYPE 1
STEEL PRE-ROLLED SHEET COLORBOND FENCE TO BOUNDARY
HEIGHT 1800mm MAX

F2 — FENCE TYPE 2
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1200mm MAX (MEASURED FROM PUBLIC SIDE)

F3 — FENCE TYPE 3
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1500mm MAX (MEASURED FROM PUBLIC SIDE)

F4 — FENCE TYPE 4
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1800mm MIN (MEASURED FROM PUBLIC SIDE)

PS — ALUM VERTICAL SLAT PRIVACY SCREEN

BAL1 — BALUSTRADE TYPE 1
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100)

0 1 2.5 5 10 20M

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OV	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALUM	ALUMINIUM	CPT	CARPET	FP	FIBREGLASS PANEL	P	PRECAST CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE
ATD	AS TURNS OUT	CR	CEMENT RENDER	FV	FLUE VENT	PT	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
BAL1	BALUSTRADE - TYPE 1	CSP	CONCRETE SEALER AND PAINT	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	G	GAS	PB	PLASTERBOARD	SCP	SOAP DISPENSER PLATED	WB	WHITEBOARD
BSN	BASIN	DP	DOWNPIPE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BCD	BRICKBOARD CORE	DPC	DAMP PROOF COURSE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	GRANO	GRANOLITHIC TOPPING	PBFR	PB - FIRE RESISTANT	SH	SHELF		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BWU	BOOT WASH UNIT	DT	DOUBLE THICK	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LAM	PLASTIC LAMINATED SHEET	PCFC	PREFINISHED CFC RESISTANT	SP	SOAP DISPENSER		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	LOUVRE	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CJ	CONTROL JOINT	EX	EXISTING	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CL	CENTRE LINE	FB1	FACE BRICK - TYPE 1	MAX	MAXIMUM	PL	PLASTER	SWP	SWING WATER PIT		
CM	CORRUGATED METAL	FB2	FACE BRICK - TYPE 2	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
COL	COLUMN	FC	FIBRE CEMENT	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
COJ	CONTROL JOINT	FFL	FINISHED FLOOR LEVEL	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
				MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
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15/05/24	REVISED REF	D	DJ

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LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

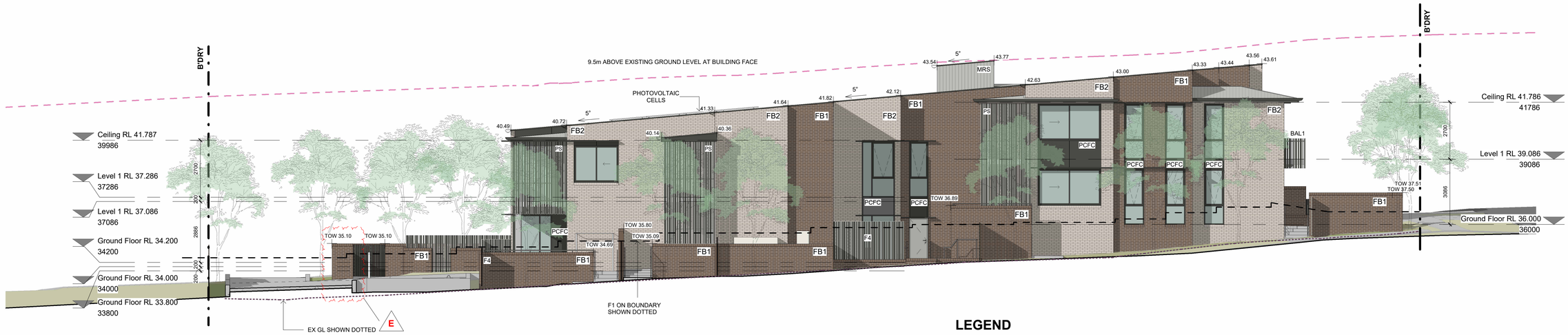
DRAWING TITLE
ELEVATIONS 1

SCALE @ A1 1 : 100
SCALE @ A3 1 : 200
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER BGYDY
SHEET NO A204
ISSUE E

1 EAST (WEST STREET) ELEVATION

1 : 100



2 WEST ELEVATION

1 : 100

LEGEND

F1 FENCE TYPE 1
STEEL PRE-ROLLED SHEET COLORBOND FENCE TO BOUNDARY
HEIGHT 1800mm MAX

F2 FENCE TYPE 2
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1200mm MAX (MEASURED FROM PUBLIC SIDE)

F3 FENCE TYPE 3
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1500mm MAX (MEASURED FROM PUBLIC SIDE)

F4 FENCE TYPE 4
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100) ON FB1 WALL
HEIGHT 1800mm MIN (MEASURED FROM PUBLIC SIDE)

PS ALUM VERTICAL SLAT PRIVACY SCREEN

BAL1 BALUSTRADE TYPE 1
POWDERCOATED ALUM VERTICAL SLATS (16x38/65/100)

0 1 2.5 5 10 20M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALC	ALUM. LOUVRE	CPD	CONCRETE PADDLE PANEL	FP	FIRE PLATE/PANEL	P	PAINTED CONCRETE	RWG	RAINWATER GUTTER	UON	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	PA	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CARPET REMOVE AND PAINT	G	GAS	PB	PLASTERBOARD	SCP	SHOWERSONE PLATED	WB	WHITEBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BTC	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBFR	PB - FIRE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HB	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOOT WASH UNIT	DR	DOOR REF.	JT	JOINT - TYPE 1	PBWR	PB - WATER REPELLENT	SM	SMOKE DETECTOR		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL PT		
CL	ELECTRICAL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGS/S & HANDRAIL EXTENSIONS DELETED	E	DJ
15/05/24	REVISED REF	D	DJ

300MM ON ORIGINAL

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
ELEVATIONS 2

SCALE @ A1	SCALE @ A3
1 : 100	1 : 200
DRAWN KC	VERIFIED WP / GM

APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A205

ISSUE
E

1 HEIGHT PLANE @9.5M

BUILDING HEIGHT - 9.5M

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTICAL CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OA	OVER ALL	RG	RETURN GRILLE	UCO	UNCLOSED COVERED AREA
ADJ	ADJUSTABLE	CPD	CURRGATED PAVING	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PLASTERBOARD	SCP	SHOWERHOSE PLATED	WB	WATERBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	D	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR		
BCP	BOTTOM OF PARAPET	DPM	DAMP PROOF MEMBRANE	H	HOOK	PBM	PB - MOULDED	SK	SKYLIGHT		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT		
C	CEILING	DB	DISTRIBUTIONAL DISTRIBUTION BOARD	M	MATT FINISH	PC	PRECAST CONC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT		
CL	CLOTHES RODS	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYD	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TILE		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
CO	CLEAN OUT	FCL	FINISHED CEILING LEVEL	MO	MASONRY OVERHEAD	PC	PRECAST CONCRETE	TD	TOWEL RAIL DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED: SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	E	DJ
15/05/24	REVISED REF	D	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
HEIGHT PLANE DIAGRAM

SCALE @ A1: NTS
SCALE @ A3: NTS
DRAWN: KC
VERIFIED: WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER: BGYDY
SHEET NO: A303
ISSUE: E

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

VIEW TOWARDS CORNER OF JEDDA ST & WEST ST

VIEW OF WEST STREET ELEVATION

D

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OP	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CARPET DRAIN	FP	FIBREGLASS PANEL	P	PRECAST CONCRETE	RWG	RAINWATER GOODS	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL	BALCONY - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SCREEN PERIMETER PLATED	VP	VANITY BOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BTC	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GRAND	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHELF		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	H	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTOM WALL UNIT	E	EXHAUST FAN	LAM	LAMINATE DECORATIVE LAMINATED SHEET	PCF	PRE-COATED FIBRE RESISTANT	SP	SOAP DISPENSER		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	F	FACE BRICK	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL EDGE PT		
CL	CLOTHES LOOP	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFG	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
15/05/24	REVISED REF	D	DJ
21/12/23	REF	C	DJ
03/10/23	REF	B	DJ
25/09/23	REF	A	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
PHOTOMONTAGE

SCALE @ A1 NTS
SCALE @ A3 NTS
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A301

ISSUE
D

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL

LOOKING NORTH EAST FROM JEDDA ST

D

LOOKING SOUTH FROM WEST ST

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALC	ALCOVE	CPD	CONCRETE PADDOCK	FIP	FIBRE INSULATOR PANEL	OFC	OVER FLOW CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SCRATCHPROOF PLATED	WB	WEATHERBOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BBN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BCE	BRICK ON EDGE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHOWER		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BRU	BRUSH CUTTER UNIT	E	ELECTRICAL	LAM	LAMINATE/ LAMINATED SHEET	PCF	PREFINISHED CFC RESISTANT	SP	SPRINKLER HEADS		
CC	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	STMP	STAMPED CONCRETE		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CLT	CORRUGATED METAL	FC	FIBRE CEMENT	MTD	MOUNTED	PT	PAPER TOWEL DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

REVISION

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03/10/23	REF	B	DJ
25/09/23	REF	A	DJ

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DRAWING TITLE
PHOTOMONTAGE 2

SCALE @ A1 NTS
SCALE @ A3 NTS
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER
BGYDY

SHEET NO
A302

ISSUE
D

1 6 FACEY CRESCENT

2 38 WEST STREET

7 67 HILL ROAD

3 25A WEST STREET

4 25B WEST STREET

5 145 - 147 WONGA ROAD

6 137 - 139 WONGA ROAD

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LEGEND

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ACL	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE
AFL	AS FIXED LIGHT	CRT	CARPET	FL	FLOOR LEVEL	OG	OVERHEAD GUTTER	RWG	RAINWATER GUTTER	VC	VINYL COVE
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	P	PAINER	SCI	SCREEN	VNL	VINYL
BAL1	BALLUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD
BAL2	BALLUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBF	PB - FIRE RESISTANT	SD	SOUND DENSER	WC	WATER CLOSET
BB	BIN	D	DOWN	GB	GRAB RAIL	PBM	PB - MOD RESISTANT	SG	SLIDING GATE		
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHIDDOWLINE		
BTW	BOTTOM OF WALL UNIT	DW	DISHWASHER	JH	JOINERY HIDE LAMINATED SHEET	PC	PRECAST CONCRETE	SP	SHIDDOWLINE POINT		
CFC	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	ER	EXISTING	MAX	MAXIMUM	PL	PLASTER	STMP	STORMWATER PIT		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
COL	COLLAPSIBLE METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PT	PRESSURE TREATED RUBBER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FGL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ

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NSW LAND AND HOUSING CORPOTATION
12 DARCY ST, PARRAMATTA NSW 2150

NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
EXTERNAL FINISHES - CONTEXT

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A401
APPROVED TO ISSUE		
WILLIAM PHELPS ARN 6675		ISSUE B

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

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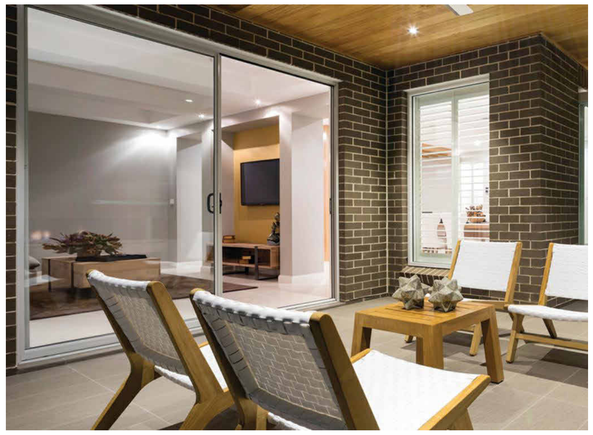
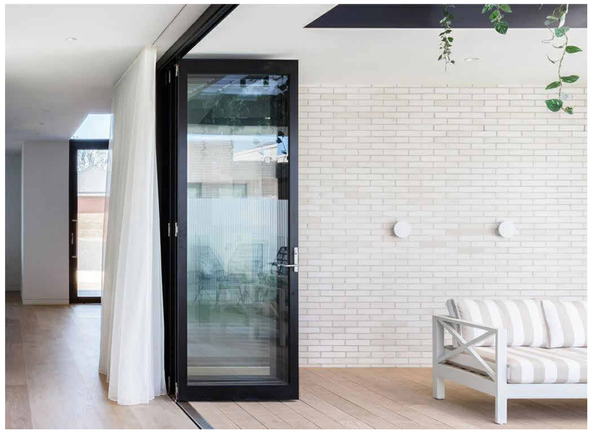
200MM

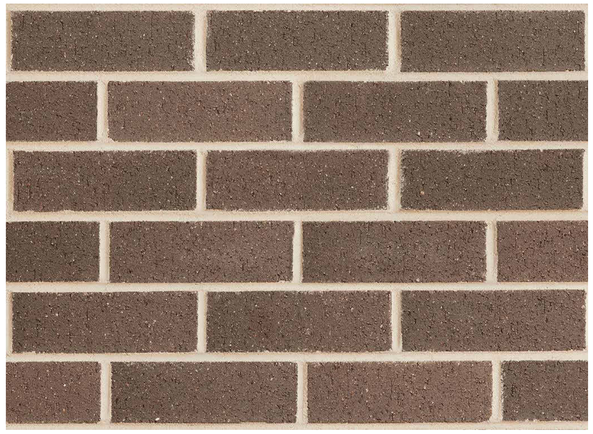
300MM ON ORIGINAL





F1
Steel pre-rolled sheet Colorbond fence to boundary
Colorbond Woodland Grey

Corrugated metal roof sheeting
Rainwater goods
Colorbond Shale Grey



FB1
Face brick 1
PGH - Velour - Volcanic

FB2
Face brick 2
PGH - Velour - Crushed Grey

F2, F3, F4
Powdercoated aluminium vertical slats
(16x38/65/100) on FB1 wall
to match Colorbond Woodland Grey

Powdercoated aluminium
- windows & doors
- balustrade
- sunshade
Prefinished CFC Cladding
to match Colorbond Woodland Grey

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LEGEND

REVISION			
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ
DATE	ISSUE	REVISION	BY

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DRAWING TITLE
EXTERNAL FINISHES SELECTIONS

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A402
APPROVED TO ISSUE		
WILLIAM PHELPS ARN 6675		ISSUE B

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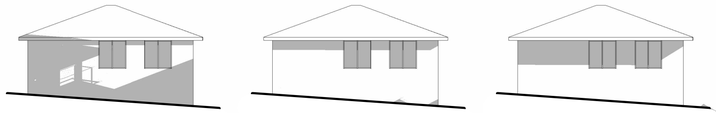
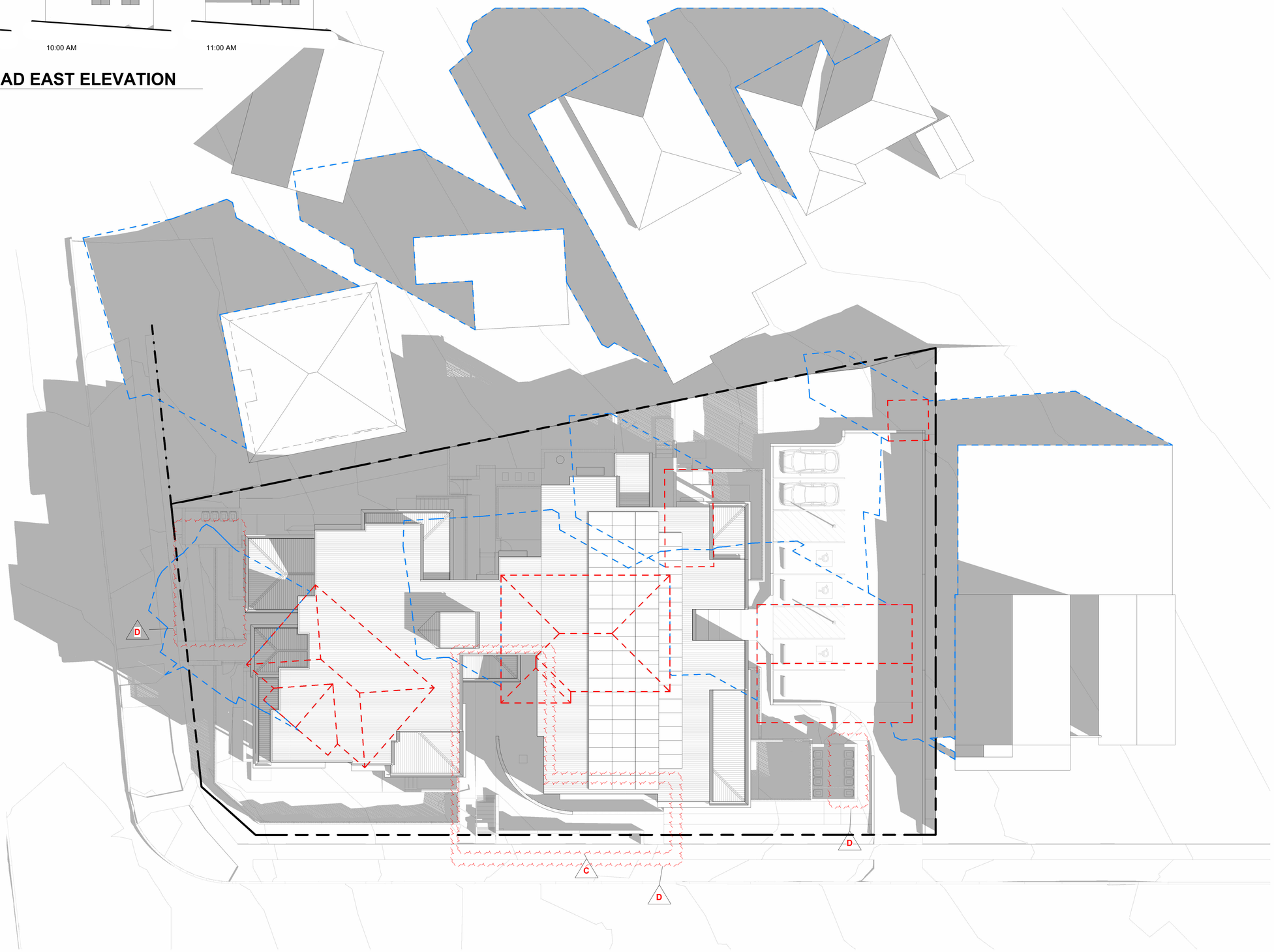
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



2 19 JEDDA ROAD EAST ELEVATION



1 SHADOW DIAGRAM - 21/06 - 9 00

1 : 150

LEGEND

- DEMOLISHED BUILDING
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED DEVELOPMENT

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LEGEND

AC	AIR CONDITIONER	CO5	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OP	OVERFLOW	RL	REDUCED LEVEL	UCA	UNDNLOSED COVERED AREA		
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE		
AFF	ABOVE FF	CR	CURTAIN ROD	FL	FLOOR LEVEL	OG	OGEE	RWG	RAINWATER GUTTER	VC	VINYL		
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD		
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBF	PB - FIRE RESISTANT	SE	SOAP DISPENSER	WC	WATER CLOSET		
BSN	BASIN	DF	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR				
BOC	BOTTOM OF CEILING	DPM	DAMP PROOF MEMBRANE	H	HOOK	PBM	PB - MOULDED	SK	SKYLIGHT				
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE				
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT				
C	COLUMN	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CFC	COMPRESSED FIBRE CEMENT	E	EXHAUST	MAX	MAXIMUM	PFC	PREFINISHED	SS	STAINLESS STEEL				
CH	CLOTHES HOOK	EX	EXISTING	MDF	MEDIUM DENSITY FIBREBOARD	PLY	PLYWOOD	SWP	STORMWATER PIT				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MVP	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	T	TIMBER				
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	PT	PAPER TOWEL DISPENSER	TF	TUBE				
CLG	CLOTHS RAILS	FC	FIBRE CEMENT	MR	MIRROR	RC	REINFORCED CONCRETE	TGSI	TACTILE GROUND SURFACE INDICATORS				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	REF	REFRIGERATOR	TPD	TOILET PAPER DISPENSER				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD			TOF	TOP OF FENCE				

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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DRAWING TITLE
SHADOW DIAGRAMS - 21 JUNE - 0900

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 150	1 : 300	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A501
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE D

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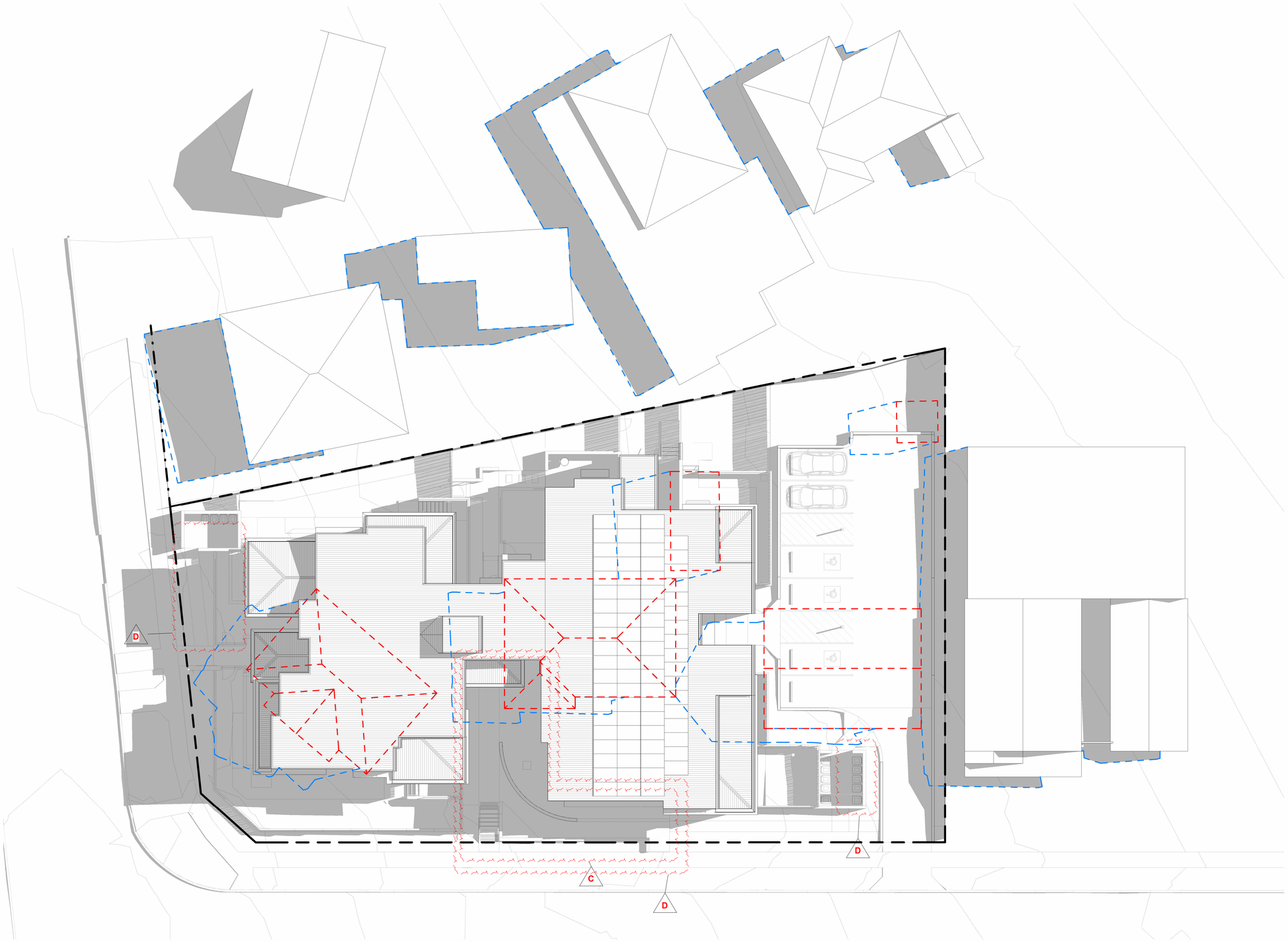
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



LEGEND

- DEMOLISHED BUILDING
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED DEVELOPMENT

1 SHADOW DIAGRAM - 21/06 - 12 00

1 : 150

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LEGEND

AC	AIR CONDITIONER	CDS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ADJ	ADJUSTABLE	CPO	CURBGARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE		
ALUM	ALUMINIUM	CR	CARPET	FL	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL		
BAL	BALCONY OUT	CRC	CEMENT RENDER	FW	FIRE WASTE	PA	PAINT	S	SINK	VB	VANITY		
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD		
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET		
BF	BIFOLD	D	DOWN	GBI	GLASS BRICK	PBC	PB - CONSTRAINT	SG	SECTIONAL GATE				
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR				
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BRG	BRICK RETAINING WALL	DR	DOOR HARDWARE	HT	HOT WATER TAPS	PBR	PB - RESISTANT TO MOISTURE	SL	SLIDING DOOR				
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBWR	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT				
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CFC	CONCRETE FIBRE CEMENT	EF	EXHAUST	M	MIRROR	PCP	PRE-COATED	SPR	SPRINKLER HEAD				
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
CL	CLOTHES LINE	FB2	FACE BRICK - TYPE 2	MD	MOTION DETECTOR DEVICE	PT	PAINT TO FINISH	TB	TOWEL RAIL				
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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NORTH

PROJECT
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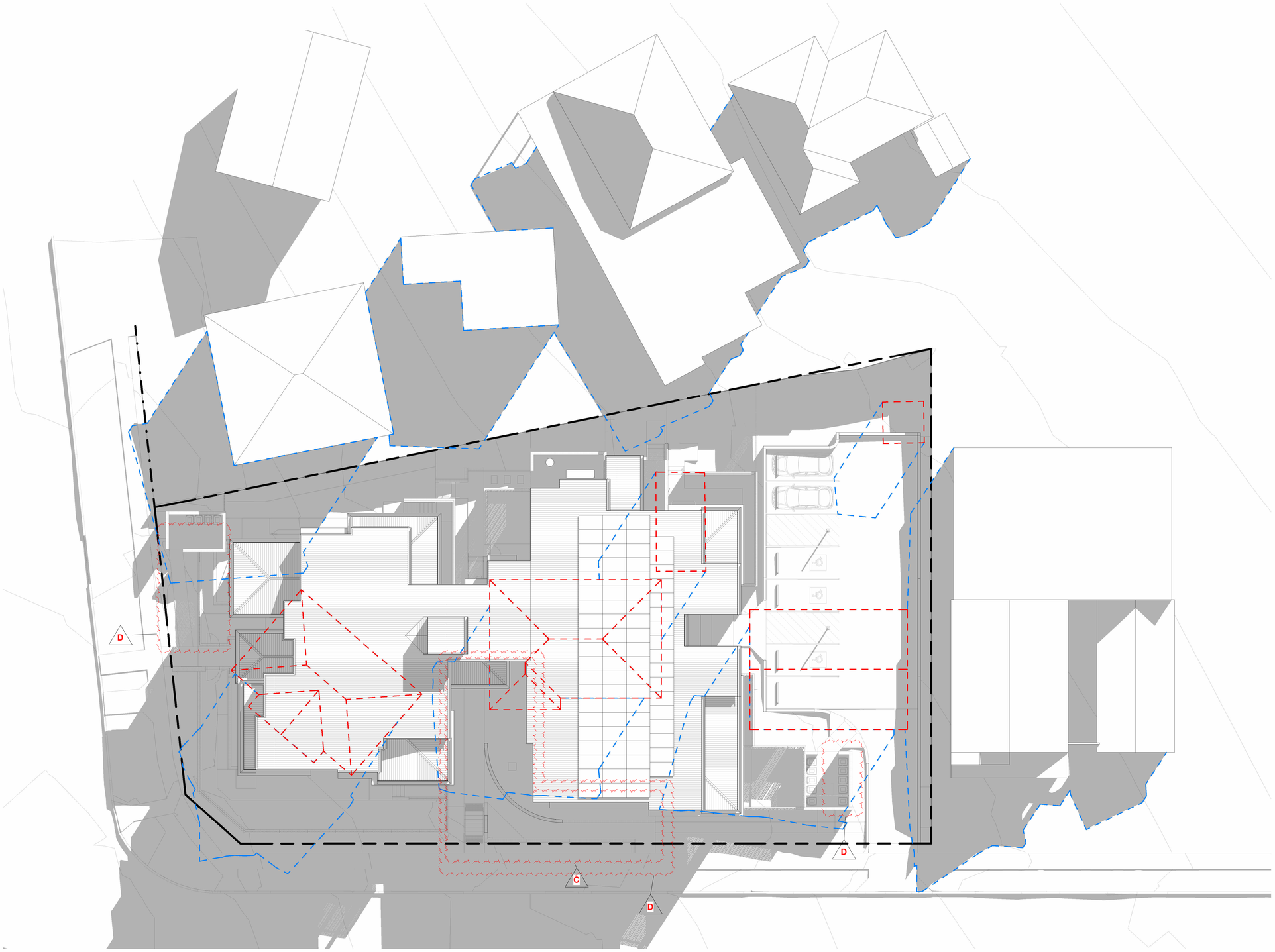
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SHADOW DIAGRAMS - 21 JUNE - 1200

SCALE @ A1 1 : 150
SCALE @ A3 1 : 300
DRAWN KC
VERIFIED WP
APPROVED TO ISSUE
WILLIAM PHELPS ARN 6675

PROJECT NUMBER BGYDY
SHEET NO A502
ISSUE D



LEGEND

- DEMOLISHED BUILDING
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED DEVELOPMENT

1 SHADOW DIAGRAM - 21/06 - 15 00

1 : 150

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LEGEND

AC	AIR CONDITIONER	CDS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TON	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FGR	FIRE GRADING	NF	NEW FORM	RL	RESIDENT LEVEL	UCA	UNROOFED-COVERED AREA
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL
BAL	BALCONY	CR	CEILING RENDER	G	GARBAGE WASTE	PA	PUBLIC ADDRESS	S	SINK	VB	VANITY BOX
BALS	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD
BALS	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BD	BIDET	D	DOWNPIPE	GI	GALVANISED IRON	PBC	PB - CEILING CONSTANT	SG	SLIDING GATE		
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BRG	BRICK RETAINING WALL	DR	DOOR - SPRINGER	HT	HOT WATER TANK	PBR	PB - RESILIENT CONSTANT	SL	SLIMLINE		
BWU	BOILING WATER UNIT	DW	DISHWASHER	LAM	DECORATIVE LAMINATED SHEET	PBFW	PB - FIRE/ WATER RESISTANT	SP	SPRINGING POINT		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	CONCRETE FIBRE CEMENT	EJ	EXPANSION	M	MIRROR	PCONC	PRECAST CONCRETE	SS	STAINLESS STEEL		
CH	CLOTHES HOOK	EX	EXISTING	MAX	MAXIMUM	PLY	PLYWOOD	SWP	STORMWATER PIT		
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CLOTHES LINE	FB2	FACE BRICK - TYPE 2	MIN	MINIMUM - MINIMUM	PMD	PROPRIETARY DOOR	TB	TOILET		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

REVISION

DATE	ISSUE	REVISION	BY
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LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SHADOW DIAGRAMS - 21 JUNE - 1500

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 150	1 : 300	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A503
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE D

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL

1 Solar Access Plans - GF - 9 00am - at FFL

2 Solar Access Plans - GF - 10 00am - at FFL

3 Solar Access Plans - GF - 11 00am - at FFL

4 Solar Access Plans - GF - 12 00pm - at FFL

5 Solar Access Plans - GF - 1 00pm - at FFL

6 Solar Access Plans - GF - 2 00pm - at FFL

7 Solar Access Plans - GF - 3 00pm - at FFL

D

C

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LEGEND

REVISION

DATE	ISSUE	REVISION	BY
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15/05/24	REVISED REF	C	DJ

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DRAWING TITLE
SOLAR ACCESS PLANS - GROUND FLOOR

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
1 : 350	1 : 700	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A504
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE D

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

1 Solar Access Plans - L1 - 9 00am - at FFL

2 Solar Access Plans - L1 - 10 00am - at FFL

3 Solar Access Plans - L1 - 11 00am - at FFL

4 Solar Access Plans - L1 - 12 00pm - at FFL

5 Solar Access Plans - L1 - 1 00pm - at FFL

6 Solar Access Plans - L1 - 2 00pm - at FFL

7 Solar Access Plans - L1 - 3 00pm - at FFL

D

C

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LEGEND

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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Nominated Architect
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12 DARCY ST, PARRAMATTA NSW 2150

NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
SOLAR ACCESS PLANS - LEVEL 1

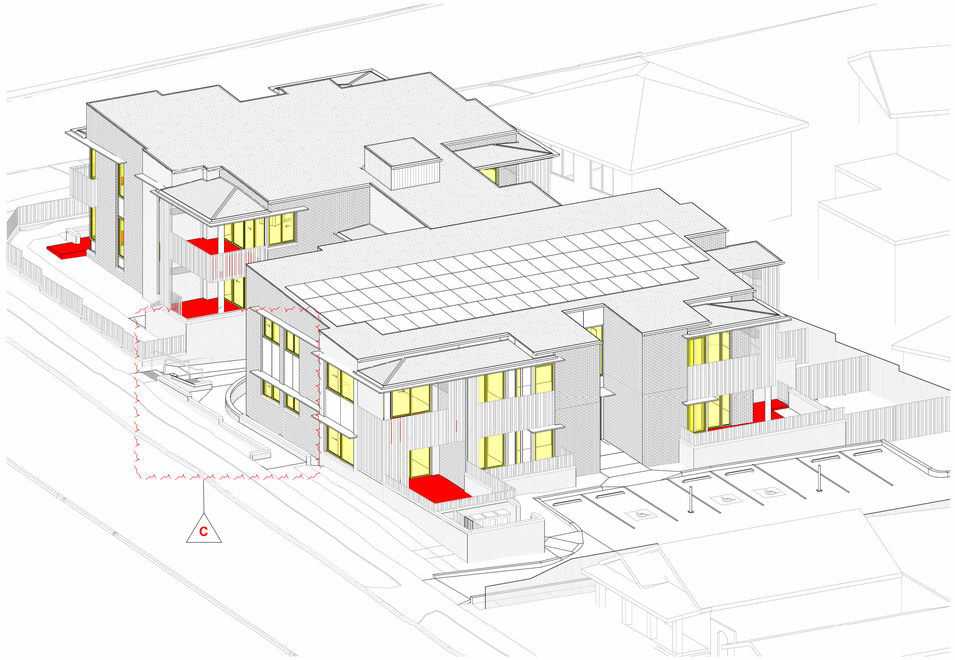
SCALE @ A1	SCALE @ A3	PROJECT NUMBER
Checker	Designer	BGYDY
DRAWN Author	VERIFIED Approver	SHEET NO A505
APPROVED TO ISSUE		
WILLIAM PHELPS ARN 6675		ISSUE D

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



1 JUNE 21st @9-00am at FFL

2 JUNE 21st @10-00am at FFL

3 JUNE 21st @11-00am at FFL

4 JUNE 21st @12-00pm at FFL

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OH	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ADJ	ADJUSTABLE	CPD	CUPBOARD	FIP	FIRE INDICATOR PANEL	OFC	OFF FORM CONCRETE	RW	RETAINING WALL	UNO	UNLESS NOTED OTHERWISE		
AFF	ABOVE FFL	CT	CERAMIC TILE	FL	FLOOR LEVEL	OG	OGEE	RWG	RAINWATER GUTTER	VIN	VINYL		
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SCG	SCREEN	VNL	VINYL		
BAL1	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GATE	PB	PLASTERBOARD	SCP	SATIN CHROME PLATED	WB	WHITEBOARD		
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBF	PB - FIRE RESISTANT	SD	SOAP DISPENSER	WC	WATER CLOSET		
BK	BASIN	D	DOWN	GB	GRAB RAIL	PBM	PB - MOULD RESISTANT	SG	SLIDING GATE				
BC	BLOCKBOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBI	PB - IMPACT RESISTANT	SIM	SIMILAR				
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHIDDOWLINE				
B-U	BOTTOM OF WALL UNIT	DW	DISHWASHER UNIT	IW	INTERNAL WALL LAMINATED SHEET	PCB	PRECAST CONCRETE BEAM	SP	SHOWER POINT				
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL				
CJ	CONTROL JOINT	EQ	EQUIPMENT	MAX	MAXIMUM	PL	PLASTER	STMP	STAMPED CONCRETE				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF				
COL	COLOUR COATED METAL	FC	FIBRE CEMENT	MGB	MOP BOARD	PT	PAINT / PAINTED RUBBER	TGSI	TACTILE GROUND SURFACE INDICATORS				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRS	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

WINDOW

PRIVATE OPEN SPACE

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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NORTH

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LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
VIEW FROM SUN

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN	VERIFIED	SHEET NO
DJ	WP	A506
APPROVED TO ISSUE		
WILLIAM PHELPS ARN 6675		ISSUE D

0 10 20 30 40 50 60 70 80 90 100

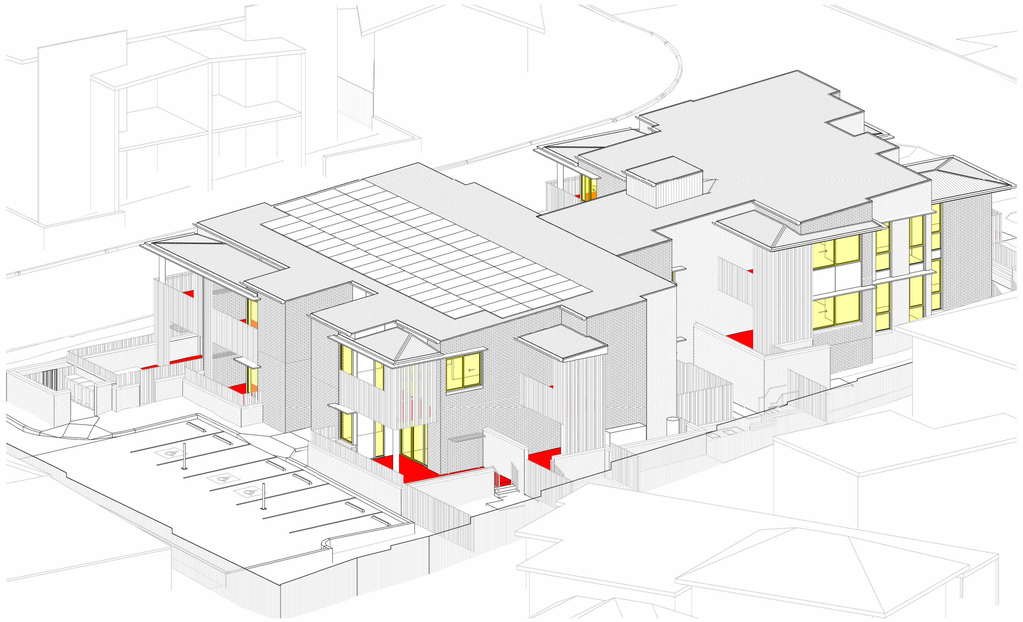
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL

1 JUNE 21st @1-00pm at FFL

2 JUNE 21st @2-00pm at FFL



C

3 JUNE 21st @3-00pm at FFL

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOW	TOP OF WALL
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
ALT	ALTERNATE	CPD	CONCRETE PADDITOP PANEL	FP	FIRE PROTECTOR PANEL	OP	OPERATION CONCRETE	RWG	RAINWATER GUTTER	UN	UNLESS NOTED OTHERWISE
ALUM	ALUMINIUM	CPT	CARPET	FV	FLUE VENT	P	PAINTED	RWP	RAINWATER OUTLET	URI	URINAL
ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
BAL	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	G	GAS	PB	PARTICLEBOARD	SCP	SCREEDCRETE PLATED	VP	VANITY BOARD
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET
BSN	BASIN	DP	DOWNPIPE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE		
BTB	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GRANO	GRANOLITHIC TOPPING	PBM	PB - MOISTURE RESISTANT	SH	SHOWER		
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING		
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE		
BWU	BOTTOM WALL UNIT	E	ELECTRICAL	JL	JOINERY LIVE LAMINATED SHEET	PCB	PARTICLE BOARD RESISTANT	SP	SOAP DISPENSER		
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LV	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK		
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL		
CJ	CONTROL JOINT	EX	EXISTING	MAX	MAXIMUM	PL	PLASTER	SWP	SWIMMING POOL PIT		
CL	ELECTRICAL LIGHT	FB1	FACE BRICK - TYPE 1	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER		
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MFD	MULTI-FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF		
CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MRB	METAL ROOF BASETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER		
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

WINDOW

PRIVATE OPEN SPACE

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	C	DJ
03/10/23	REF	B	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
VIEW FROM SUN

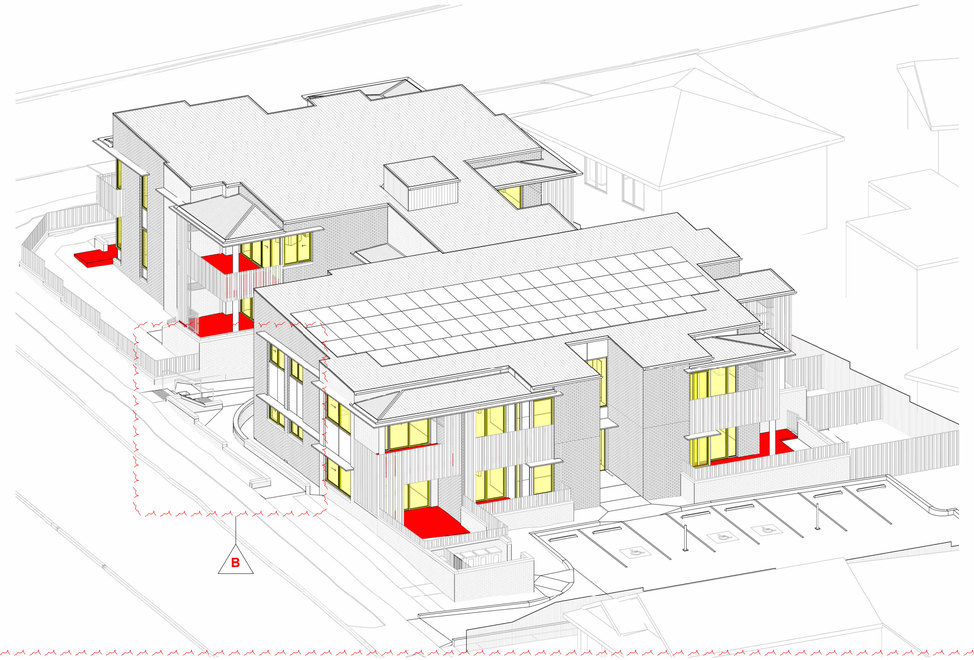
SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN DJ	VERIFIED WP	SHEET NO A507
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE C

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

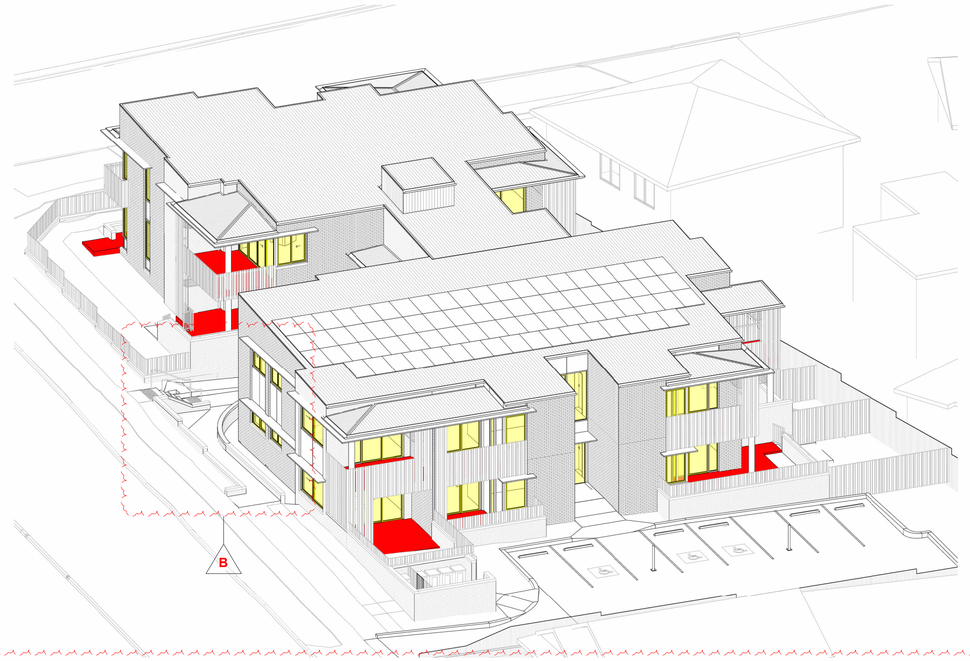
200MM

300MM ON ORIGINAL



C

1 JUNE 21st @9-15am at FFL



2 JUNE 21st @9-30am at FFL

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LEGEND

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ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA
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ATO	AS TURNS OUT	CR	CEMENT RENDER	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL
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CM	CORRUGATED METAL	FC	FIBRE CEMENT	MIN	MINIMUM	PTD	PAPER TOWER DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS		
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CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE		

WINDOW

PRIVATE OPEN SPACE

REVISION

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15/05/24	REVISED REF	B	DJ

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DRAWING TITLE
VIEW FROM SUN

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN DJ	VERIFIED WP	SHEET NO A509
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE C

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL

SOLAR ACCESS TO LIVING & POS AREAS - JUNE 21ST - AT FFL

	Living - 9:00am	Living - 10:00am	Living - 11:00am	Living - 12:00pm	Living - 1:00pm	Living - 2:00pm	Living - 3:00pm		POS - 9:00am	POS - 10:00am	POS - 11:00am	POS - 12:00pm	POS - 1:00pm	POS - 2:00pm	POS - 3:00pm
	Minimum 1m2, at FFL								Minimum 1m2, at FFL						
GROUND															
UNIT 01	No	No	Yes	Yes	Yes	Yes	Yes		No	No	No	No	Yes	Yes	Yes
UNIT 02	Yes	No	No	No	No	No	No		Yes	Yes	Yes	Yes	Yes	No	No
UNIT 03	No	No	Yes	Yes	Yes	Yes	No		No	No	Yes	Yes	Yes	Yes	Yes
UNIT 04	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes
UNIT 05	Yes	Yes	Yes	Yes	Yes	No	No		No	Yes	Yes	Yes	Yes	Yes	No
UNIT 06	Yes	Yes	Yes	Yes	Yes	No	No		Yes	Yes	Yes	Yes	Yes	Yes	No
LEVEL 1															
UNIT 07	No	Yes	Yes	Yes	Yes	Yes	Yes		No	No	Yes	Yes	Yes	Yes	No
UNIT 08	Yes	Yes	Yes	Yes	No	No	No		Yes	Yes	Yes	Yes	Yes	Yes	No
UNIT 09	No	No	Yes	Yes	Yes	No	No		No	Yes	Yes	Yes	Yes	Yes	No
UNIT 10	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	Yes	Yes	Yes	Yes	Yes
UNIT 11	Yes	Yes	Yes	Yes	Yes	Yes	No		Yes	Yes	Yes	Yes	Yes	Yes	Yes
UNIT 12	Yes	Yes	Yes	Yes	No	No	No		Yes	Yes	Yes	Yes	Yes	Yes	Yes

	2 Hours	3 Hours	4 Hours
GROUND			
UNIT 01	Yes	No	No
UNIT 02	No	No	No
UNIT 03	Yes	Yes	No
UNIT 04	Yes	Yes	Yes
UNIT 05	Yes	Yes	No
UNIT 06	Yes	Yes	Yes
LEVEL 1			
UNIT 07	Yes	Yes	No
UNIT 08	Yes	Yes	No
UNIT 09	Yes	No	No
UNIT 10	Yes	Yes	Yes
UNIT 11	Yes	Yes	Yes
UNIT 12	Yes	Yes	No

TOTAL QTY	11	09	04
TOTAL %	92%	75%	33%

LEGEND

YES	Sunlight received
YES	Sunlight received to both living area and POS
YES	Sunlight received to both living area and POS for min 2 hours
YES	Sunlight received to both living area and POS for min 3 hours
YES	Sunlight received to both living area and POS for min 4 hours

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LEGEND

REVISION

DATE	ISSUE	REVISION	BY
03/10/23	REF	B	DJ
20/09/23	REF	A	DJ

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DRAWING TITLE
SOLAR ACCESS SUMMARY TABLE

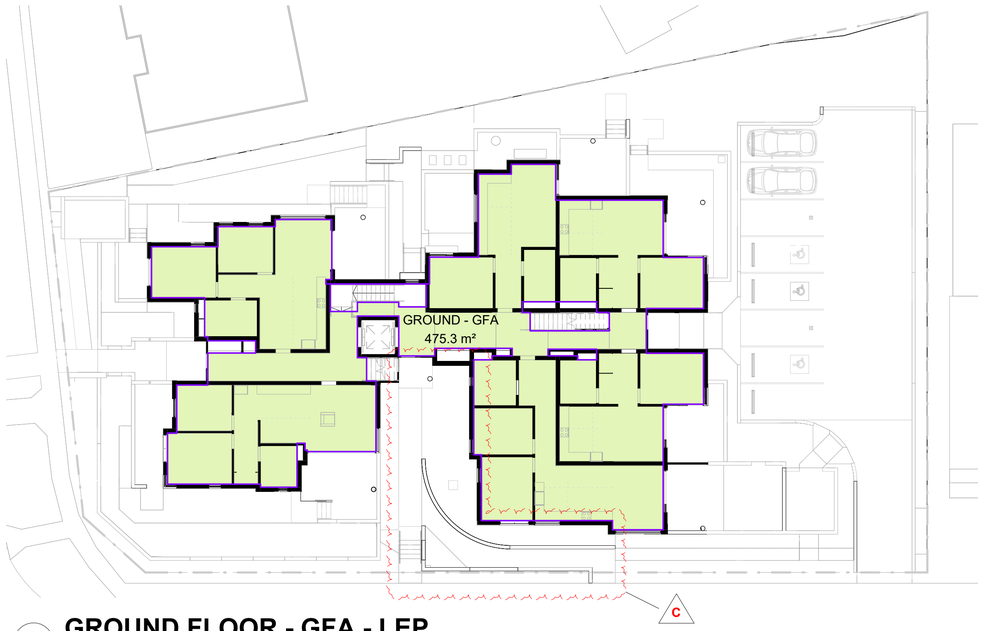
SCALE @ A1	SCALE @ A3	PROJECT NUMBER
NTS	NTS	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A508
APPROVED TO ISSUE WILLIAM PHELPS ARN 6675		ISSUE B

0 10 20 30 40 50 60 70 80 90 100

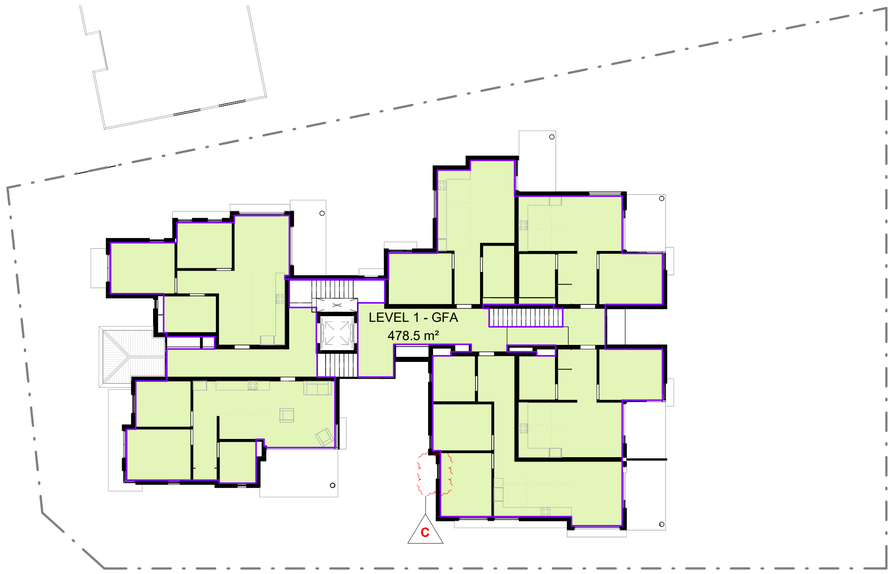
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

200MM

300MM ON ORIGINAL



1 GROUND FLOOR - GFA - LEP
1 : 200



2 LEVEL 1 - GFA - LEP
1 : 200

AREA SCHEDULE - LEP

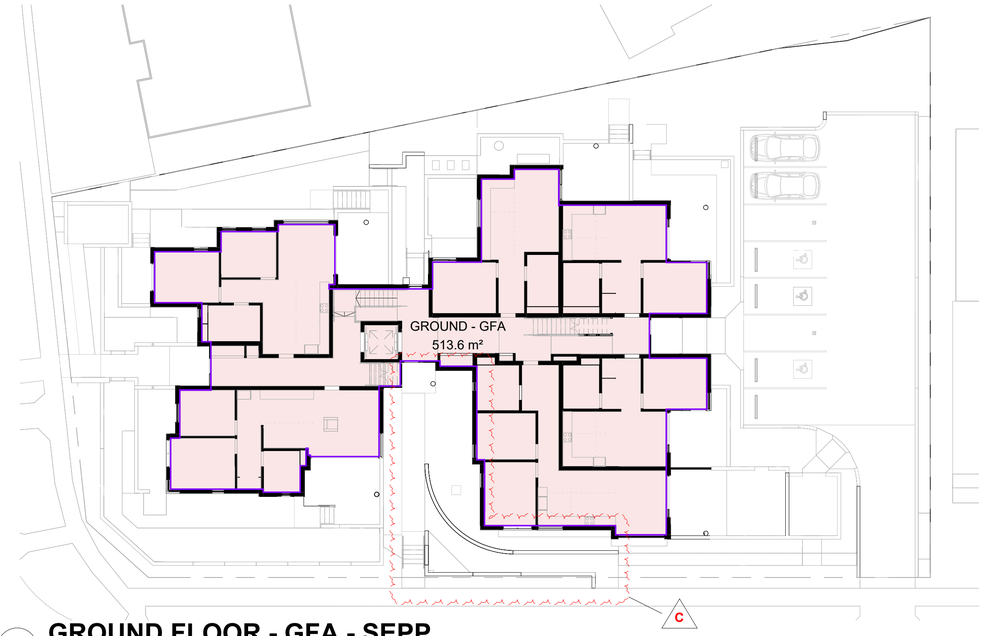
GROUND - GFA	475.3 m²
LEVEL 1 - GFA	478.5 m²
	953.7 m²

GROSS FLOOR AREA

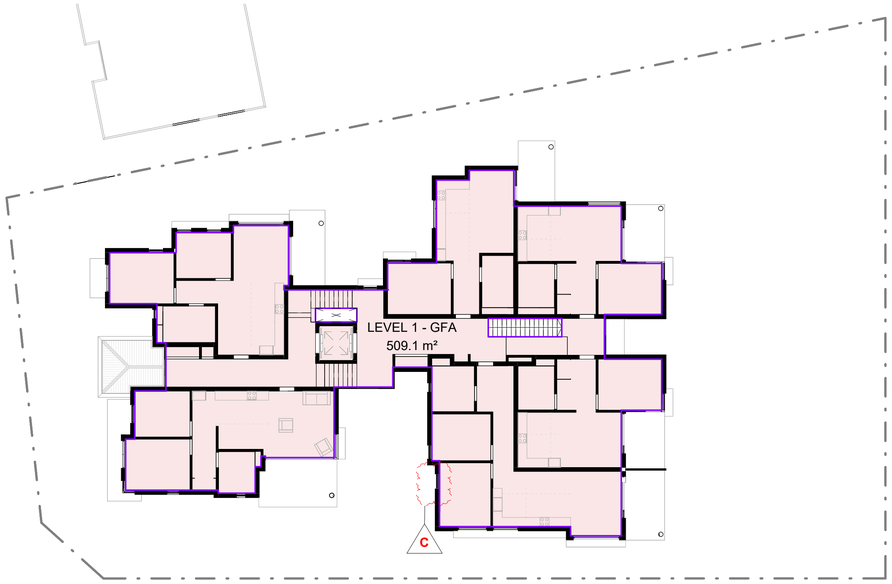
LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008

GROSS FLOOR AREA: 953.7 M²

D



3 GROUND FLOOR - GFA - SEPP
1 : 200



4 LEVEL 1 - GFA - SEPP
1 : 200

AREA SCHEDULE - SEPP

GROUND - GFA	513.6 m²
LEVEL 1 - GFA	509.1 m²
	1022.7 m²

GROSS FLOOR AREA

STATE ENVIRONMENTAL PLANNING POLICY (HOUSING) 2021

GROSS FLOOR AREA: 1022.7 M²

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LEGEND

AC	AIR CONDITIONER	COS	CHECK ON SITE	FG	FIXED GLAZING	MW	MICROWAVE	RF	RESILIENT FINISH	TOA	TOP OF WALL		
ACT	ACOUSTIC CEILING TILE	CP	CONCRETE PAVING	FHR	FIRE HOSE REEL	OF	OVERFLOW	RL	REDUCED LEVEL	UCA	UNENCLOSED COVERED AREA		
ALUM	ALUMINIUM	CPT	CARPET	FIP	FIBRE REINFORCED PANEL	PC	PRECAST CONCRETE	RWG	RAINWATER GUTTER	UNO	UNLESS NOTED OTHERWISE		
ATD	AS TURNS OUT	CR	CEMENT RENDER	FV	FLUE VENT	P	PAINTED	RWG	RAINWATER GUTTER	UR	URINAL		
BALI	BALUSTRADE - TYPE 1	CRP	CEMENT RENDER AND PAINT	FW	FLOOR WASTE	PA	PAVER	SC	SCREEN	VNL	VINYL		
BAL2	BALUSTRADE - TYPE 2	CT	CERAMIC TILE	G	GLASS	PB	PLASTERBOARD	SCP	SANITARY CHROME PLATED	WB	WEATHERBOARD		
BBN	BASIN	DP	DOWNPIPE	GAL	GALVANISED	PBA	PB - ACOUSTIC	SD	SOAP DISPENSER	WC	WATER CLOSET		
BCD	BRICK BOARD CORE	DPC	DAMP PROOF COURSE	GR	GRAB RAIL	PBF	PB - FIRE RESISTANT	SG	SECURITY GATE				
BOE	BRICK ON EDGE	DPM	DAMP PROOF MEMBRANE	GRANO	GRANOLITHIC TOPPING	PBFR	PB - FIRE RESISTANT	SH	SHELF				
BOW	BOTTOM OF WALL	DPS	DOWNPIPE SPREADER	HR	HANDRAIL	PBP	PB - PERFORATED	SK	SKIRTING				
BRU	BRUSH PLATE FOR UNIT	E	EXHAUST	INS	INSULATION	PBW	PB - WATER RESISTANT	SL	SHADOWLINE				
C	CONCRETE	EDB	ELECTRICAL DISTRIBUTION BOARD	LAM	PLASTIC LAMINATE LAMINATED SHEET	PCFR	PLASTER CEILING RESISTANT	SP	SPRINKLER HEAD				
CFC	COMPRESSED FIBRE CEMENT	EQ	EQUAL	LOUVRE	LOUVRE	PCFC	PREFINISHED CFC	SPB	SPLASHBACK				
CJ	CONTROL JOINT	EQ	EQUAL	M	MIRROR	PERF	PERFORATED	SS	STAINLESS STEEL				
CJ	CONTROL JOINT	FB1	FACE BRICK - TYPE 1	MAX	MAXIMUM	PLY	PLYWOOD	STMP	STAMPED WATER PIT				
CL	CENTRE LINE	FB2	FACE BRICK - TYPE 2	MDF	MEDIUM DENSITY FIBREBOARD	PLYP	PLYWOOD - PERFORATED	T	TIMBER				
COL	COLUMN - GENERALLY	FC	FIBRE CEMENT	MFD	MULTI FUNCTION DEVICE	POS	PRIVATE OPEN SPACE	TF	TURF				
COL	COLUMN	FCL	FINISHED CEILING LEVEL	MR	MIRROR	PTD	PAPER TOWEL DISPENSER	TGSI	TACTILE GROUND SURFACE INDICATORS				
CO	CABLE OUTLET	FFL	FINISHED FLOOR LEVEL	MRB	METAL ROOF SHEETING	RC	REINFORCED CONCRETE	TPD	TOILET PAPER DISPENSER				
				MSB	MAIN SWITCH BOARD	REF	REFRIGERATOR	TOF	TOP OF FENCE				

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING
CHECK ALL DIMENSIONS ON SITE

0 10 20 30 40 50 60 70 80 90 100

200MM

300MM ON ORIGINAL

REVISION

DATE	ISSUE	REVISION	BY
30/05/24	MISC CLOUDED AMENDMENTS + FOLLOWING AMENDMENTS NOT CLOUDED: FURNITURE & SLIDING DOOR CLEARANCES ADDED; SLIDING DOOR CLEARANCES AMENDED; EXTERNAL STAIR TGSI'S & HANDRAIL EXTENSIONS DELETED	D	DJ
15/05/24	REVISED REF	C	DJ

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NORTH

PROJECT
35 - 39 WEST STREET; 5 LEO AVE
LURNEA NSW 2170
LOT 15, 16, 17 / DP 215559; LOT 11 / DP 215559

DRAWING TITLE
GROSS FLOOR AREA

SCALE @ A1	SCALE @ A3	PROJECT NUMBER
Checker	1 : 400	BGYDY
DRAWN KC	VERIFIED WP	SHEET NO A701
APPROVED TO ISSUE		
WILLIAM PHELPS ARN 6675		ISSUE D